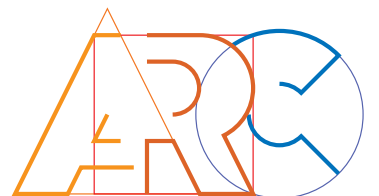




PROPOSED LARGE-SCALE RESIDENTIAL DEVELOPMENT OF BLOCKS B1 & C
AT 42A PARKGATE STREET, DUBLIN 8
ARCHITECTURAL HERITAGE IMPACT ASSESSMENT

November 2024



Arc Consultants have been commissioned by the applicant, Ruirside Developments Ltd, to prepare this Architectural Heritage Impact Assessment (AHIA) to accompany a planning application for a Large-scale Residential Development (LRD) at Block B1 and Block C located at No. 42A Parkgate Street, Dublin 8.

Summary Description of the Proposed Development

Proposed Large-scale Residential Development comprising mixed use residential, community and commercial redevelopment, accommodated in 2no. blocks (Block B1 and Block C) ranging in height from 8 to 13 storeys with basement and undercroft, and including: 316no. apartments (178no. 1-bed units and 138no. 2-bed units) with private balconies/terraces; co-working/community/cultural space available for public hire; ground level retail. And all associated and ancillary demolition, conservation, landscaping and site development works including bicycle parking; car parking; public open space; communal open space; 2no. new pedestrian site entrances at Parkgate Street, connecting to proposed public plaza and the proposed riverside amenity walkway; 1no. new vehicular access via Parkgate Street to surface areas at western edge of the site. All at No. 42A Parkgate Street, Dublin 8 (Protected Structures on site).

There are a variety of buildings and structures on the lands, of a range of ages and in differing states of repair. Four specific structures on the site are listed in the Record of Protected Structures as follows:

RPS Record No 6320: Parkgate Street, Dublin 8

Former Parkgate Printing Works, now known as Parkgate House. Only the following structures are included in the Record of Protected Structures: (a) riverside stone wall; (b) turret at eastern end of site; (c) square tower on the riverfront; and (d) entrance stone arch on the Parkgate Street frontage.

Receiving Environment

The site of the proposed development, is currently unoccupied, but until recent times was occupied by the Hickeys fabric company. The site is at the eastern end of lands along the north bank of the River Liffey, between Parkgate Street and the River. These lands were part of a strip of land referred to on Rocque's Map of 1773 and on other maps of the late 18th and early 19th centuries as the Long Meadows, which ran west from the subject site towards Chapelizod. The first buildings on the Long Meadows appear to have been the buildings of the Phoenix Ironworks, founded by Richard Robinson in 1808. The site of the proposed development occupies the eastern half of the lands of the former ironworks. The entry for Richard Robinson in the Dictionary of Irish Architects is as follows:

Engineer and ironfounder of the Phoenix Iron Works, Parkgate Street. Richard Robinson, a native of Hull, settled in Dublin in 1800. His Phoenix foundry was responsible for casting King's Bridge, designed by GEORGE PAPWORTH to commemorate the visit of George IV to Dublin in 1823. The foundry acquired the designation 'Royal' in this year. Robinson died in 1848 and is buried in St Michan's Church of Ireland church. By 1844 he had been succeeded in the business by William Robinson who carried on until 1858 or later. By 1863 the foundry had been taken over by Edward Toomey.

Edward Toomey ran the Royal Phoenix Ironworks until his death in the late 1870s

The entry in Thoms Directory for the Royal Phoenix Ironworks for 1880 shows that it was vacant at that date. There was a long advertisement for the sale of the Ironworks in the Freemans Journal of the 24th of January 1880, part of which is as follows:

'CITY OF DUBLIN. TRUSTEES' SALE OF EXTENSIVE PREMISES, PLANT, STOCK. &c. IMPORTANT TO IRON FOUNDERS, ENGINEERS, DISTILLERS,

C. JAMES CONNOLLY and SON have been instructed by the Trustees of the late Edward Toomey.

TO DISPOSE OF BY PUBLIC AUCTION, On the Premises, on WEDNESDAY, 4th February, 1880, Their Interest in all that and those the extensive concerns known as the Royal Phoenix Iron Works, adjoining the King's-bridge at Parkgate-street, and close to the terminus of the Great Southern and Western Railway, together with the superior Dwellinghouse, Out-offices, Pleasure Grounds, Gardens, &c., the entire containing 3a 6r 38p statute measure, with a handsome entrance from Parkgate-street, the river Anna Liffey being its boundary in the south. There are also eight two-storied Cottages for workmen, with foundry workshops, forge, &c. where a considerable trade was successfully carried on for many years; there being also a great facility of water carriage up and down the river Liffey for the export and import of heavy articles connected with the trade.

This advertisement, together with the evidence of early Ordnance maps indicates what structures were on the site prior to 1880. The First Edition Ordnance map of 1837, though at the small scale of 6 inches to the mile, indicates that the house near the north west corner of the present site was there in 1837, as was the gateway from Parkgate Street. The larger scale 1847 Ordnance map tends to confirm this. The round turret at the eastern point of the site is shown on both maps. A second turret, some distance west of the present site and now gone, is also shown. A building directly beside the River is shown as much smaller than the present building. The other buildings of the Royal Phoenix Ironworks as shown on these maps are set back from the River. These maps indicate that the present high stone wall to the River can only in part date from the time of the Royal Phoenix Ironworks, and the pattern of the stonework on the present wall shows that it has been altered many times.

The entry on Thoms Directory for 1882 is: *Royal Phoenix Ironworks*, with a rateable valuation of £10 and on a second line: *The Kingsbridge Woollen Works*. This the last mention of the Phoenix Ironworks. In Thoms Directory the name of the business operating at the address continues to be *The Kingsbridge Woollen Works* until 1888. From 1885 to 1888 the name given is: *Guinness, Edward C, Cloth Manufacturer*. In 1885 he is plain *Guinness, Edward C*, in 1888 *Guinness, Sir Edward C, Bart*.

In Thoms Directory the valuation for the Royal Phoenix Ironworks falls from £130 in 1870 and 1880 to just £10 in 1882. By 1886, under the direction of Edward C. Guinness, the valuation had risen to £405. The evidence from Thom's Directory, taken together with the evidence of Ordnance mapping and other historical evidence, strongly indicates that the present main warehouse on the site and the two gabled buildings to the south west of it were built between 1882 and 1886 under the direction of Edward C. Guinness for the Kingsbridge Woollen Works.

Evidence from Ordnance mapping indicates that most of the buildings and structures that formed part of the Royal Phoenix Ironworks were demolished and replaced between 1864 and 1889. On the 1889 Ordnance map the layout of the buildings on the site is shown to be largely similar to the present layout. The disposition of the earlier buildings of the Royal Phoenix Ironworks was quite different. On the 1889 map the extensive new eastern building is shown with a northlight roof.

Edward Cecil Guinness, later to become the 1st Earl of Iveagh, had been the sole owner of the Guinness Brewery since 1876. In 1881 he bought the premises of the Royal Phoenix Ironworks and established the Kingsbridge Woollen Works in order to provide employment for young women, which was scarce in Dublin at the time. He spent some £50,000 on constructing the new works, an enormous sum. The Kingsbridge Woollen Works employed around 150 women; but the experiment failed, with the Woollen Works losing between £3,000 and £4,000 per year.

For the year 1889, the entry in Thoms Directory is as follows:

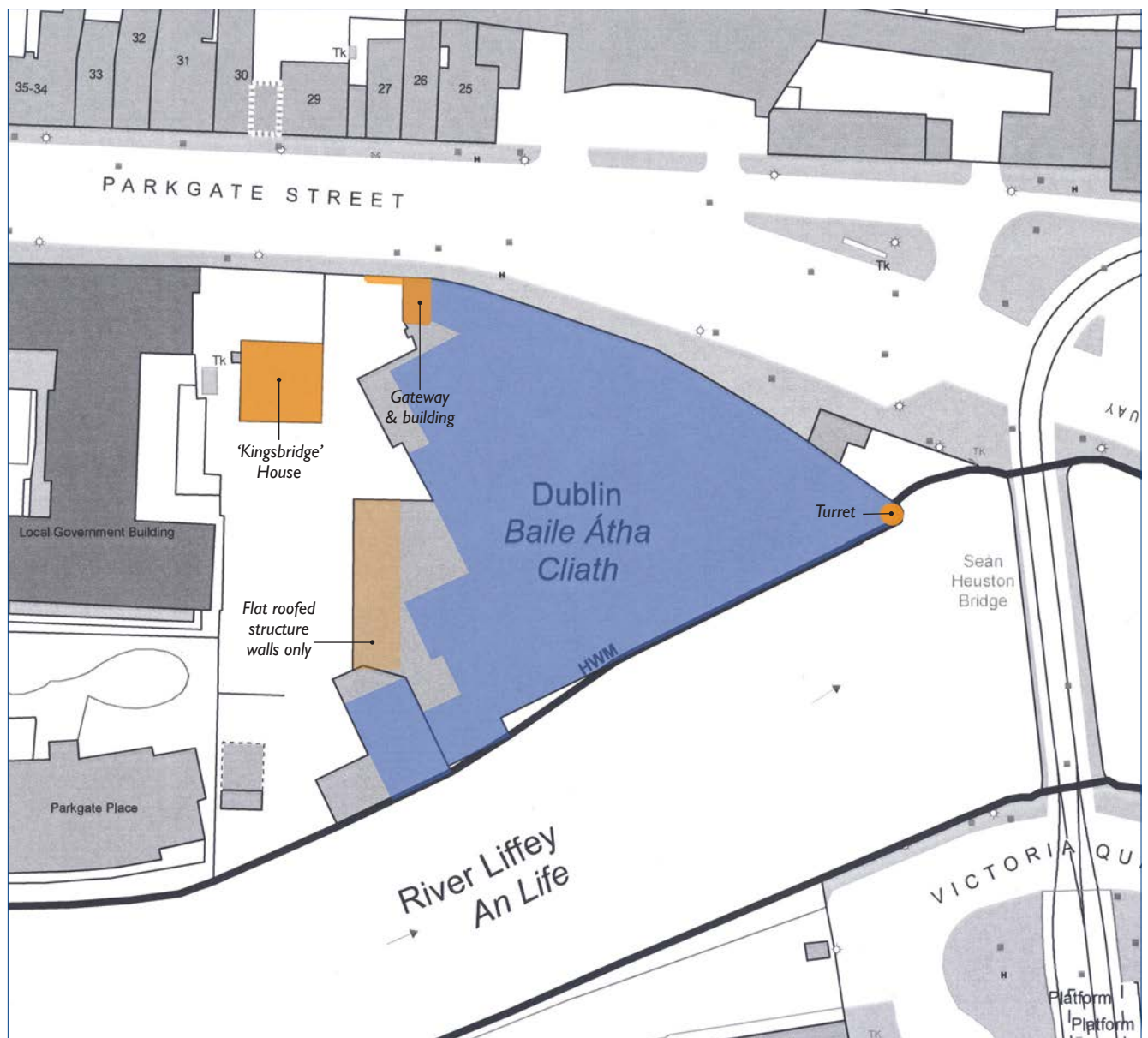
The Kingsbridge Mills, Clayton F. & J. and Co (Limited), Woollen Worsted Manufacturers, and Navan, £405
Kingsbridge House, Fred Clayton M.D. M.A. F.S.A. Ph.D. Woollen Manufacturer

The firm of F&J Clayton and Co, owned by Frederick and John Clayton was established in Navan in 1837.



In 1867 they took over a large mill at Millbrook on the river Blackwater just outside Navan. The Clayton family had been running mills at Horton in Yorkshire for the previous 200 years. Clayton's Woollen Mills at Navan was a very large concern. It continued in business until the 1960s.

Claytons only operated the woollen mills at Parkgate Street for a relatively short period. Thoms Directory for 1900 refers to the premises as the *Phoenix Park Works*, operated by Charles McDonnell and Son, Manufacturers. In 1910 and 1916 the Phoenix Park Works are listed as being vacant. In 1917, the premises are listed as the *Dublin National Shell Factory*, a munitions factory, and continue to have that listing until 1920. In 1921 and 1922 the premises is listed as Government Stores. In 1924 the premises is listed as Cahill and Co. Ltd: Printers, Etc. Cahill Printers remained at Parkgate Street till the 1970s, when the premises was taken over by Hickeys.

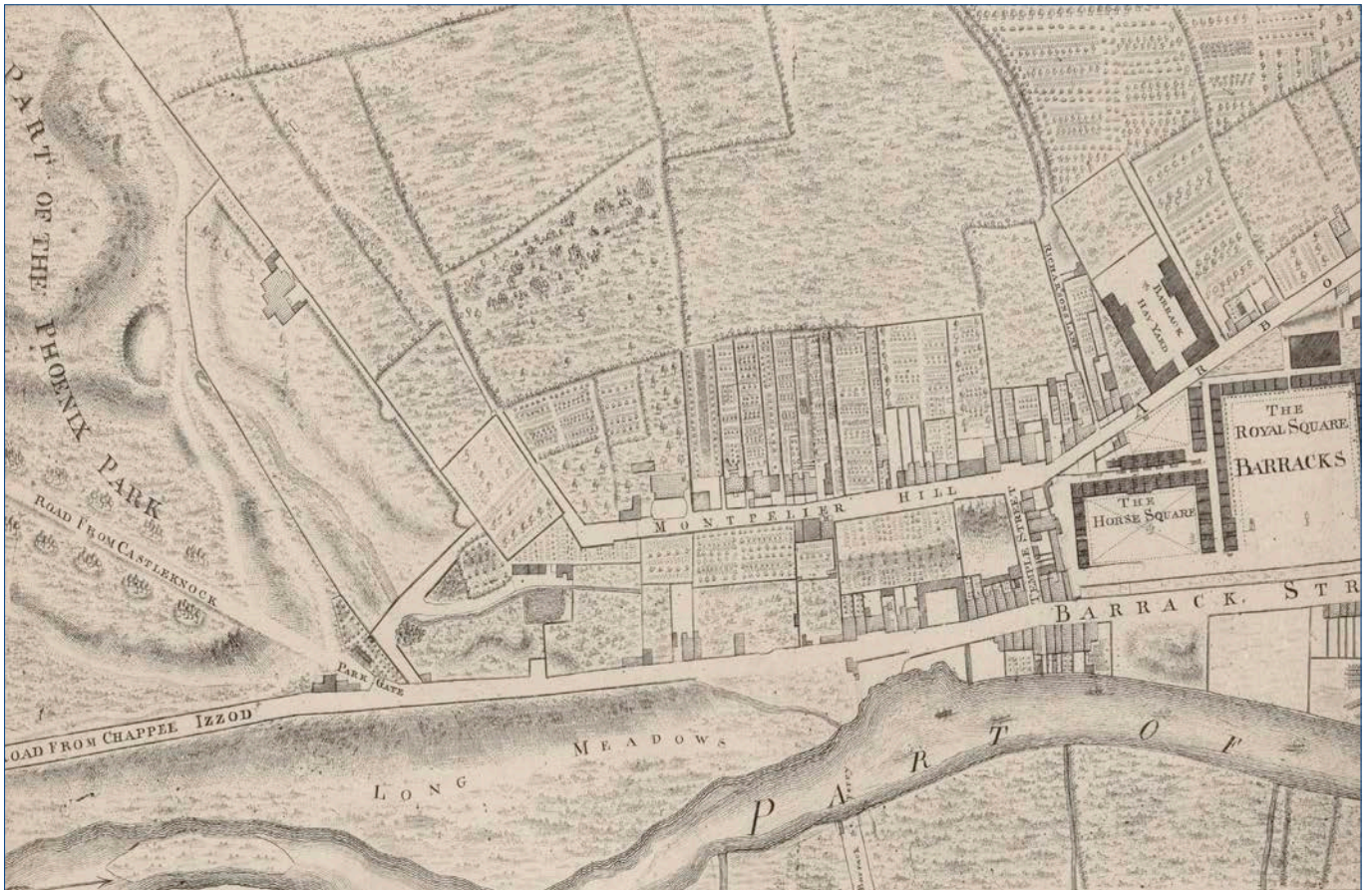


Extract from the current Ordnance map, indicating, in orange, structures on the site that predate the 1837 First Edition Ordnance map. Most of the other structures, shown in blue, date from the mid 1880s. Some low elements on the west side of the buildings are modern, as are structures in the south west corner of the site.

Extracts from Thoms Directory for the Subject Site

1861	Phoenix Ironworks, Wm Robinson, Engineer and Ironfounder	
1870	Royal Phoenix Ironworks, Edward Toomey, Millwright, Engineer and Ironfounder	£130
1880	Royal Phoenix Ironworks. Vacant.	£130
1881	Royal Phoenix Ironworks. Mrs Toomey.	£130
1882	Royal Phoenix Ironworks. The Kingsbridge Woollen Works	£10
1883	The Kingsbridge Woollen Works	
1884	The Kingsbridge Woollen Works	
1885	Guinness, Edward C, Cloth Manufacturer The Kingsbridge Woollen Works	
1886	Guinness, Edward C, Bart, Cloth Manufacturer The Kingsbridge Woollen Works	£405
1887	Guinness, Edward C, Bart, Cloth Manufacturer The Kingsbridge Woollen Works	£405
1888	Guinness, Sir Edward C, Bart, Cloth Manufacturer The Kingsbridge Woollen Works (Premises Closed)	£405
1889	The Kingsbridge Mills, Clayton F. & J. and Co (Limited), Woollen Worsted Manufacturers, and Navan Kingsbridge House, Fred Clayton M.D. M.A. F.S.A. Ph.D. Woollen Manufacturer	£405
1890	The Kingsbridge Mills, Clayton F. & J. and Co (Limited), Woollen Worsted Manufacturers, and Navan Kingsbridge House, Fred Clayton M.D. M.A. F.S.A. Ph.D. Woollen Manufacturer	
1900	Phoenix Park Works, McDonnell, Charles and Son, Manufacturers Kingsbridge House, Cussen, Mr E,	£225 £40
1910	Phoenix Park Works. Vacant.	£225 £40
1916	Phoenix Park Works. Vacant.	£225 £40
1917	Dublin National Shell Factory. Directors: Kelly, Capt. R. C; Downie, Capt. F; Grey, Lewis C., C.A.; Sec: Shaw, Crawford.	£366
1920	Dublin National Shell Factory; Inspector of Stores and Clothing, Receiving Depot and Pattern Room.	
1921	Government Stores, Inspector of Stores and Clothing, Receiving Depot and Pattern Room.	
1922	Government Stores, Inspector of Stores and Clothing, Receiving Depot and Pattern Room.	
1923	No Listing	
1924	Cahill and Co. Ltd: Printers, Etc	
1925	Cahill and Co. Ltd: Printers, Etc	£490
1930	43. Cahill and Co. Ltd: Printers, Etc	£545
1941	43. Cahill and Co. Ltd: Printers, Etc 46. Kiosk	£545 £4'10'0
1950	43. Cahill and Co. Ltd: Printers, Etc 46. Kiosk	£545 £4'10'0
1960	43. Cahill and Co. Ltd: Printers, Bookbinders, Publishers. Parkside Press Ltd: Publishers	£525
1971	43. Cahill and Co. Ltd: Letterpress and Lithographic Printers and Bookbinders. Parkside Press Ltd: Publishers, Mellifont Press Ltd: Publishers	£525
1980	43. Hickey and Co. Ltd : Fabrics.	£525

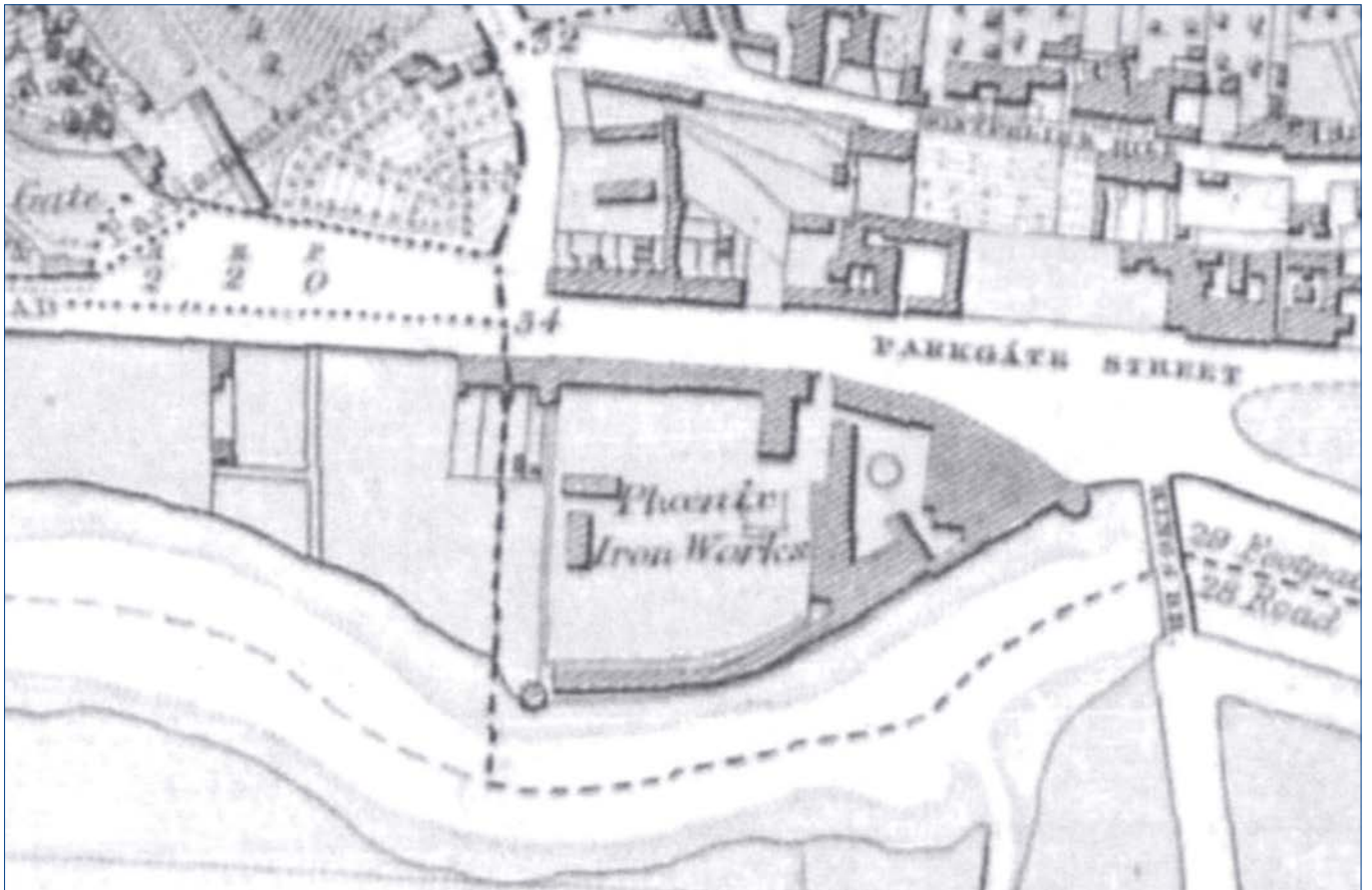




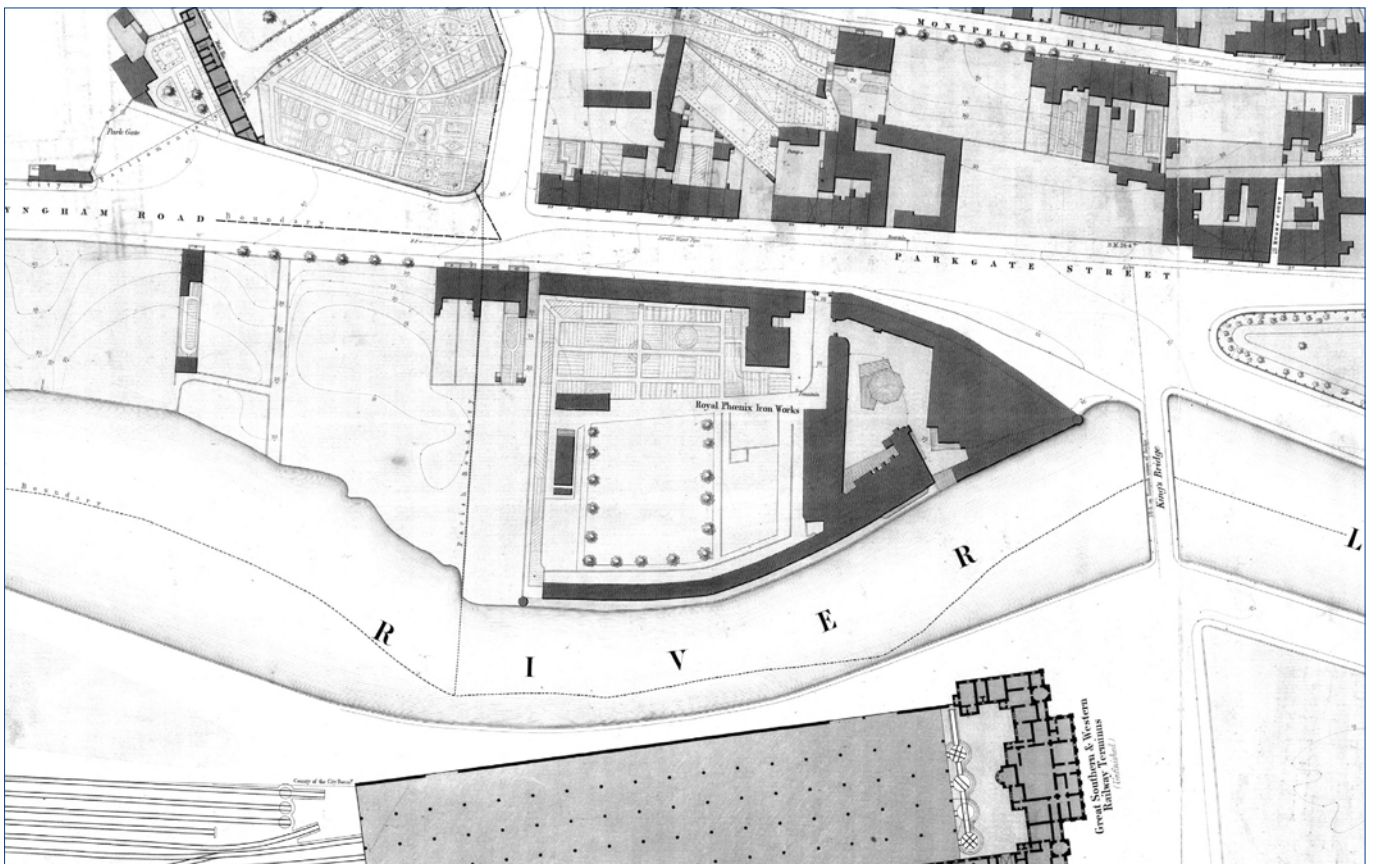
Extract from John Rocques map of Dublin of 1773. Conyngham Road and Parkgate Street are not named. The 'Long Meadows' are shown on the north side of the River Liffey. Kingsbridge is not yet there. The Viceregal Stream is shown running into the Liffey at the east end of the Long Meadows. Where the Stream meets the River is the approximate location of the Turret at the east end of the subject site



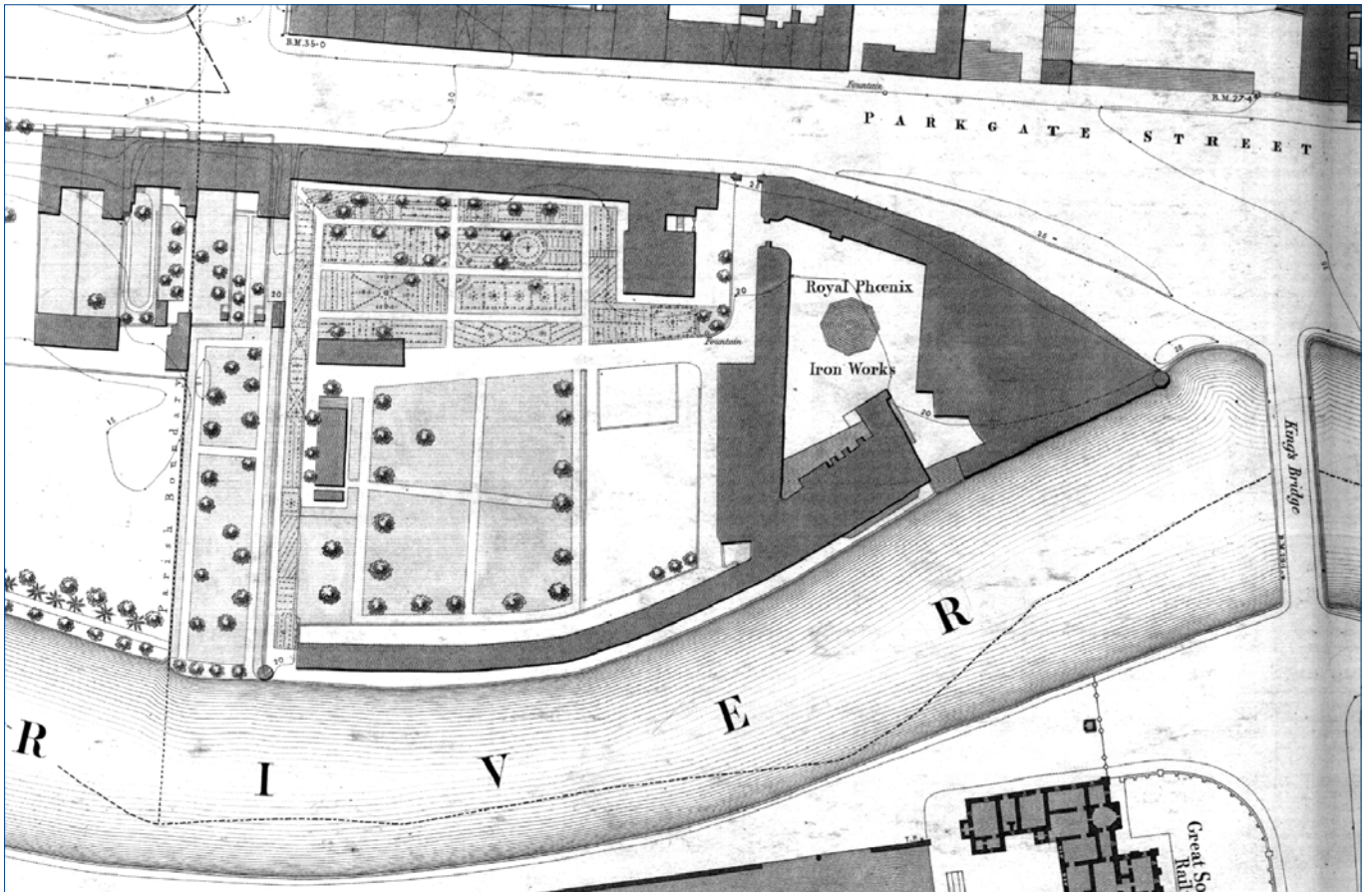
Extract from Duncan's Map of Dublin of 1821. The map indicates a triangle of buildings and two other small buildings on the subject site. At that date the surrounding area of the city and all the lands to the south and west are dominated by military buildings and institutions. The Wellington Testimonial, construction of which would only have just started, is shown in the centre of a group of military buildings: the Magazine Fort, the Royal Infirmary, the Royal Barracks, The Royal Hospital and the Artillery Barracks.



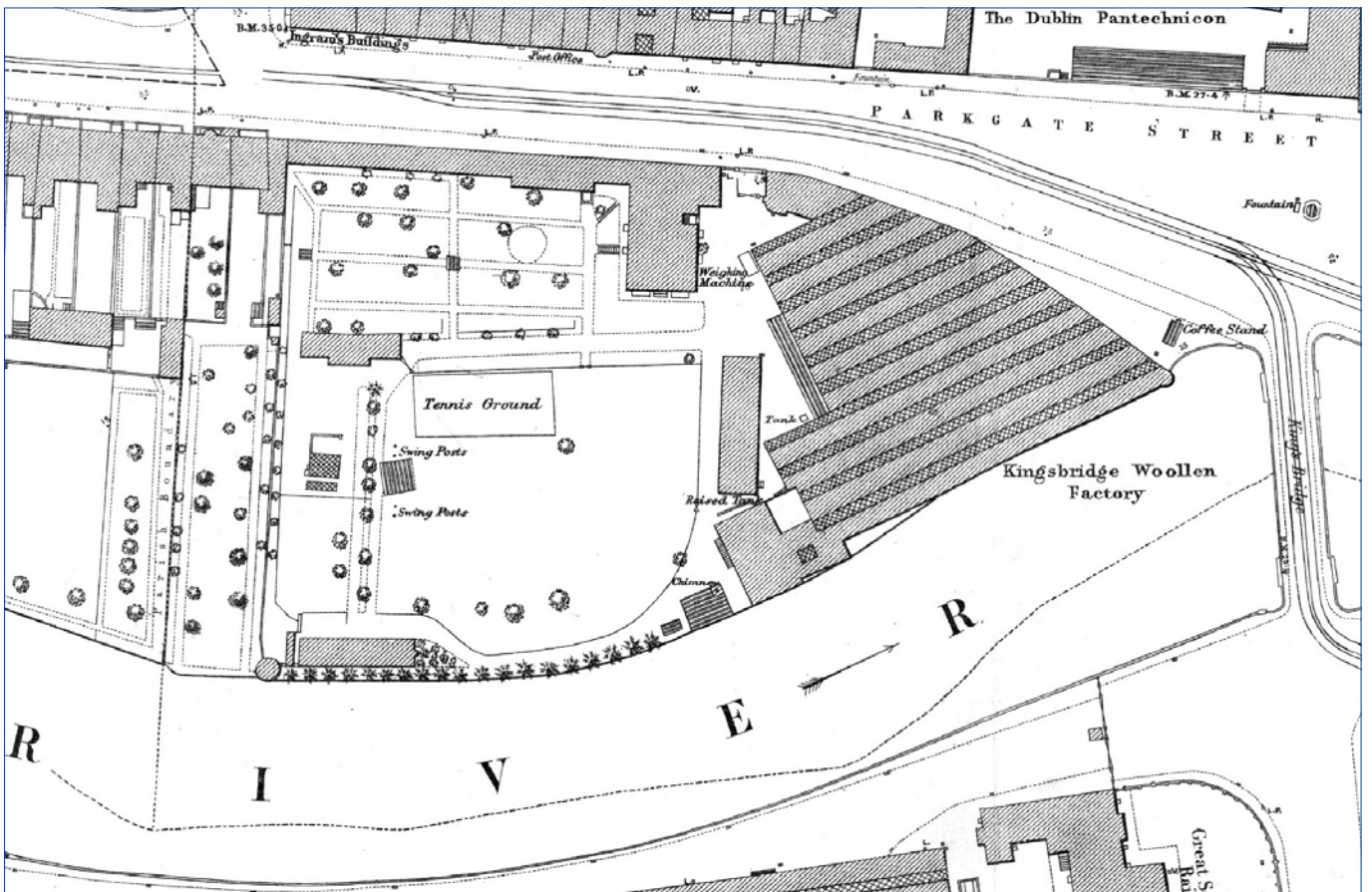
Enlargement of part of the First Edition Ordnance map of 1837, showing the original extent of the Phoenix Iron Works, which was approximately twice the area of the present Hickeys site. The map shows round turrets at the eastern and western end of the river frontage. Though 'Kingsbridge' House is not clearly defined because of the small scale of the map, it is likely that it was there by 1837.



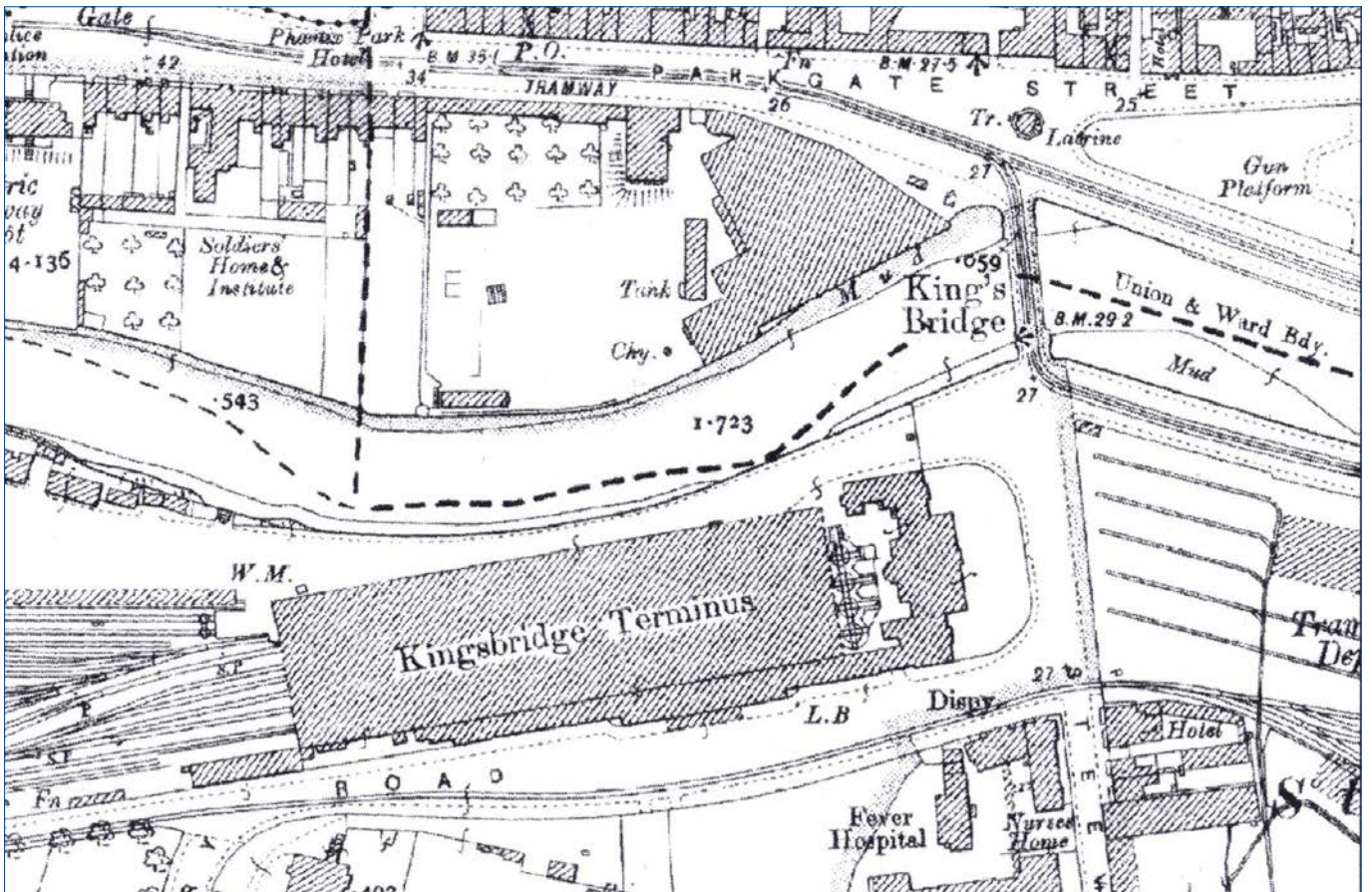
Extract from the Ordnance map of 1847. Kingsbridge station is shown on the south side of the river, though marked as 'unfinished'. The production buildings of the now Royal Phoenix Ironworks would appear all to have been at the east end of the site, and the western end is shown laid out as gardens. Only the most easterly building on the site abuts the River. The rest are set back. There appears to be a slipway from the centre yard of the works down to the River. Where walls are shown on the map, these were probably of the nature of garden walls, and unlikely to have been more than 2 metres in height.



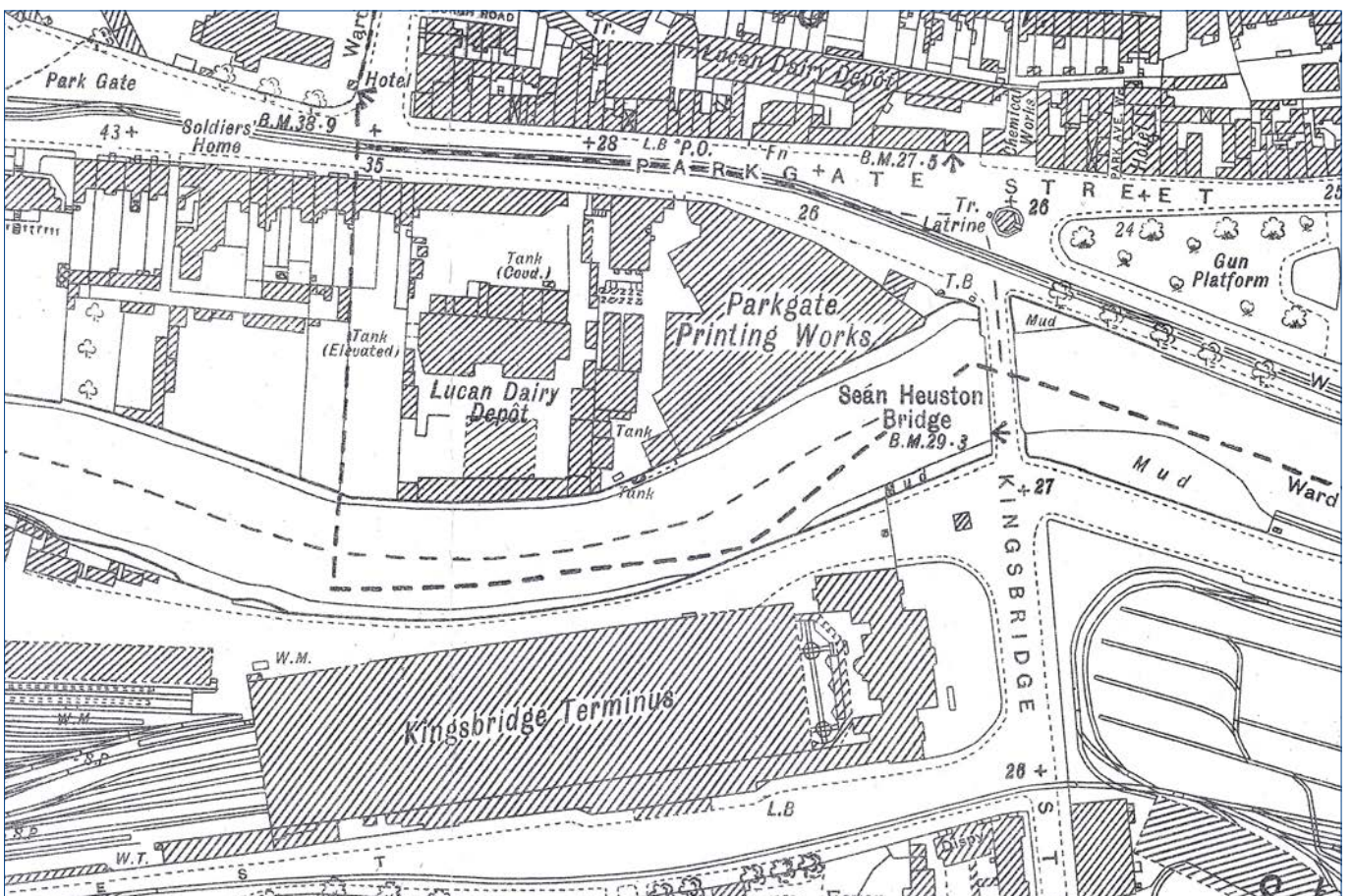
Extract from the Ordnance map of 1864. The layout of the Royal Phoenix Ironworks is little changed from the 1847 map. This map provides more detail of the layout of the extensive gardens. 'Kingsbridge' House is clearly defined and is shown with buildings on Parkgate Street north of the house, separated from the house by a small yard on the north east.



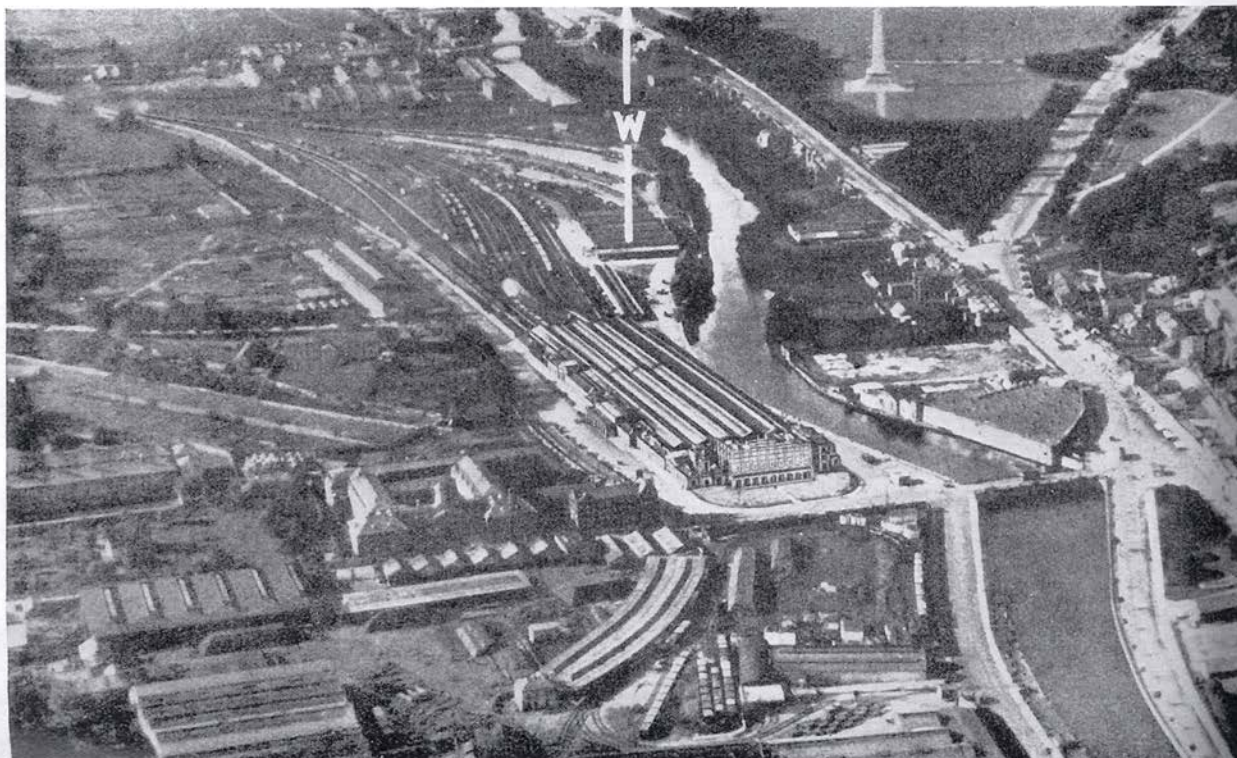
Extract from the Ordnance map of 1889. The layout of buildings on the east and south of the site has been completely changed. The present warehouse with its northlight roof is clearly defined on the map. The range of buildings near the River at the south west of the has been largely removed, and trees are shown at the River's edge. For an auction advertisement in 1880, we know that the buildings to the north west along Parkgate Street are workers cottages. The entire is now titled 'Kingsbridge Woollen Factory'



Extract from the Ordnance map of 1907. This map is at a smaller scale than the 1889 map, but shows little change in the layout since that time.



Extract from the Ordnance map of 1943. The premises is now the 'Parkgate Printing Works'. The western half of the original site is now shown separated from the eastern end and occupied by a depot for the Lucan Dairy. A number of buildings are shown south of 'Kingsbridge' House in the present yard and buildings are also shown north of the house, between it and Parkgate Street.



81. Dublin. Kingsbridge.

Blick von O Liffey aufwärts auf den großen Kopfbahnhof Kingsbridge-Station. Im Hintergrund rechts der Phoenixpark mit dem Wellington-Denkmal. Im Vordergrund Teile einer großen Branntweinfabrik. — Abschnitt 20, Karte B.

128

A somewhat enhanced aerial photograph of the Kingsbridge area from a booklet provided to the Luftwaffe during the Second World War as a guide to wayfinding. It will be noted that the western half of the subject site is shown clear of buildings. The eastern end of the site was occupied by Cahill Printers at the time.

Nur für den Dienstgebrauch!

Militärgeographische Angaben über Irland

Süd- und Ostküste

(Von Mizen Head bis Malin Head)

Text- und Bildheft mit Kartenanlagen

Abgeschlossen am 31. Mai 1941

Generalstab des Heeres
Abteilung für Kriegskarten und Vermessungswesen (IV. Mil.-Geo.)
Berlin 1941

The cover of the Luftwaffe booklet, bearing the date 1941, though the date of the actual aerial photograph is probably somewhat earlier. A pilot colleague has indicated that the above photograph was taken from quite a low altitude, probably around 1000 feet.



Relevant Statutory Provisions

Chapter 13 of the Dublin City Development Plan 2022-2028 is entitled *Strategic Development Regeneration Areas (SDRAs)* and this chapter sets out development plan policy in regard to these areas. The introduction to Chapter 13 includes the following:

17 SDRAs have been identified and are set out in the table below and are also identified on Map K. It is considered that these areas are capable of delivering significant quantities of homes and employment for the city. The active land management measures and approach referred to under the core strategy will be pursued in the development and delivery of the SDRAs. Table 13.1 sets out the 17 SDRAs, their estimated capacity and key supporting infrastructure.

For each SDRAs, a series of guiding principles are set out and indicated on an accompanying plan. It should be noted that in some instances, SDRAs are also governed by an adopted Local Area Plan or SDZ Planning Scheme. The guiding principles for these SDRAs should be read in conjunction with the zoning objectives and principles and other objectives and policies of the plan.

The guiding principles plans are not intended to be prescriptive, but seek to set out an overall strategy for each site in terms of the appropriate form and scale of development, key routes and permeability, open space etc. Some flexibility in the interpretation of the guiding principles maps will be applied where the applicant can demonstrate that the overall intent of the guiding principles has been incorporated and considered and that an appropriate development response for the site has been developed.

The overall site of the proposed development of Block B1 and Block C is within **SDRA 7 – Heuston and Environs**, and the permitted developments on the overall site, consisting of the approved Blocks B1 and C, the approved Blocks B2 and A and all associated approved development works, ABP-306569-20, aligns with the objectives set out for SDRA 7. The proposed development that is the subject of this Architectural Heritage Impact Assessment (AHIA) involves the replacement of the permitted Blocks B1 and C with two revised blocks that are very similar to the permitted blocks in terms scale, mass, height, appearance and purpose. So it is reasonable to conclude that the two revised blocks proposed under the current subject application are also consistent with the objectives of SDRA 7.

Relevant Extracts from SDRA 7

Under the heading *Urban Structure* the following are the most relevant guiding principles of SDRA 7:

- *To develop a new urban gateway character area focused on the transport node of Heuston Station with world class public transport interchange facilities; vibrant economic activities; a high-quality destination to live, work and socialise in; a public realm and architectural approach of exceptional high standard; and a gateway to major historic, cultural and recreational attractions of Dublin City.*
- *To ensure the application of best practice urban and Transport Orientated Development design principles to achieve:*
 - o *Enhanced infrastructure to encourage active mobility interfacing with the various public transport modes at Heuston.*
 - o *A coherent and legible urban structure within major development sites.*
 - o *A prioritisation on the provision of public space.*
 - o *A successful interconnection between development sites and the adjacent urban structure.*
- *To recognise and enhance the role that civic and historic buildings play in the identity and legibility of the Heuston area.*
- *To provide greater accessibility to the areas of large public open space as well as creating additional smaller scale parks and civic squares, throughout the SDRA, that are attractive, multi-functional, safe, welcoming and accessible to local residents, workers and visitors.*

- To recognise the acute barriers to connectivity created by a natural features, physical infrastructure and large landbanks of industrial or institutional lands and seek to reduce the impact of these obstacles to movement and connectivity, where appropriate.

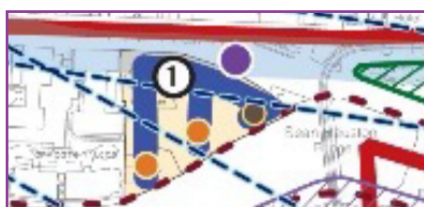
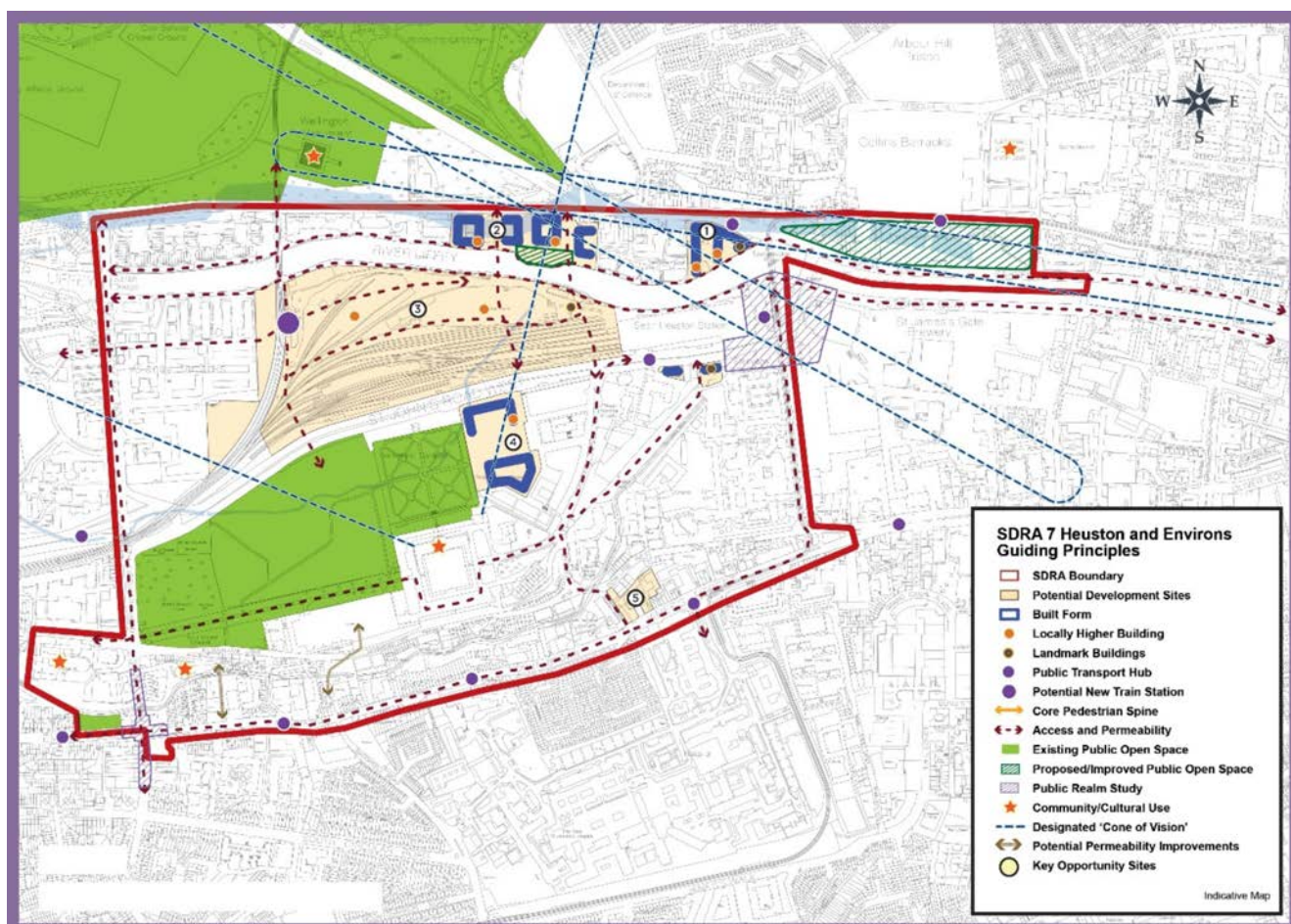
The text of SDRA 7 provides *Guiding Principles for Key Opportunity Sites*. The guiding principles for the subject site are as set out below. The text refers to the site as ‘Hickeys’, but the Hickey fabric company is no longer the occupant of the site.

1 - Hickeys

Development on this site should provide active frontage to Parkgate Street with active non-residential landuse along this frontage. A riverside walkway should be provided and public access to the river should be allowed at all hours of the day.

Heights should be 6-8 storeys on this site while locally higher buildings could be located to the rear of the site at the identified locations. The site is suitable for the accommodation of a landmark building in the order of 30 storeys at its eastern end subject to the quality of the design and considerations being in accordance with Appendix 3 of the development plan

The Guiding Principle are also illustrated on *Figure 13-10* of the Dublin City Development Plan 2022-2028: **SDRA 7: Heuston and Environs**, below:



Enlarged extract from the SDRA 7 map showing the subject site with symbols for
 A Landmark Building (purple circle)
 And
 Locally Higher Buildings (orange circle)

The site of the proposed development falls within a red line hatched Conservation Area that runs along the River Liffey corridor and extends into the Phoenix Park. Chapter 11 of the Dublin City Development Plan 2022-2028 sets out the following policies in relation to Conservation Areas:

BHA9: Conservation Areas

It is the Policy of Dublin City Council:

To protect the special interest and character of all Dublin's Conservation Areas – identified under Z8, Z2 zoning objectives and denoted by red line conservation hatching on the zoning maps. Development within or affecting a Conservation Area must contribute positively to its character and distinctiveness and take opportunities to protect and enhance the character and appearance of the area and its setting, wherever possible.

Enhancement opportunities may include:

- 1. Replacement or improvement of any building, feature or element which detracts from the character of the area or its setting.*
- 2. Re-instatement of missing architectural detail or important features.*
- 3. Improvement of open spaces and the wider public realm and reinstatement of historic routes and characteristic plot patterns.*
- 4. Contemporary architecture of exceptional design quality, which is in harmony with the Conservation Area.*
- 5. The repair and retention of shop and pub fronts of architectural interest.*
- 6. Retention of buildings and features that contribute to the overall character and integrity of the Conservation Area*

Changes of use will be acceptable where in compliance with the zoning objectives and where they make a positive contribution to the character, function and appearance of the Conservation Areas and its setting. The Council will consider the contribution of existing uses to the special interest of an area when assessing change of use applications and will promote compatible uses which ensure future long-term viability.

BHA10: Demolition in a Conservation Area

There is a presumption against the demolition or substantial loss of a structure that positively contributes to the character of a Conservation Area, except in exceptional circumstances where such loss would also contribute to a significant public benefit.

In Chapter 15 of the Development Plan, **Development Standards**, at Section 15.15.2.2 **Conservation Areas**, the following standards are set out for development in conservation areas:

- Respect the existing setting and character of the surrounding area.*
- Be cognisant and/or complementary to the existing scale, building height and massing of the surrounding context.*
- Protect the amenities of the surrounding properties and spaces.*
- Provide for an assessment of the visual impact of the development in the surrounding context.*
- Ensure materials and finishes are in keeping with the existing built environment.*
- Positively contribute to the existing streetscape Retain historic trees also as these all add to the special character of an ACA, where they exist.*

In addition to policies relating to Conservation Areas, there are a number of other policies that may have some relevance to the proposed development:

BHA11: Rehabilitation and Reuse of Existing Older Buildings

(a) To retain, where appropriate, and encourage the rehabilitation and suitable adaptive reuse of existing older buildings/structures/features, which make a positive contribution to the character and appearance of the area



and streetscape in preference to their demolition and redevelopment.

2. (b) Encourage the retention and/or reinstatement of original fabric of our historic building stock such as windows, doors, roof coverings, shopfronts (including signage and associated features), pub fronts and other significant features.
3. (c) Ensure that appropriate materials are used to carry out any repairs to the historic fabric.

As has been noted above, there are 4 protected structures on the site. These are proposed to be retained as part of the development. Discussion of each of these protected structures and of the proposals for them are provided further on in this assessment report. Three of the four protected structures are structures with no interiors. Chapter 11 of the Development Plan includes the following policies in relation to protected structures:

BHA2: Development of Protected Structures

It is the Policy of Dublin City Council: That development will conserve and enhance Protected Structures and their curtilage and will:

- (a) *Ensure that any development proposals to Protected Structures, their curtilage and setting shall have regard to the 'Architectural Heritage Protection Guidelines for Planning Authorities' 2011 published by the Department of Culture, Heritage and the Gaeltacht.*
- (b) *Protect Structures included on the RPS from any works that would negatively impact their special character and appearance.*
- (c) *Ensure that works are carried out under supervision of a suitably qualified person with expertise in architectural conservation.*
- (d) *Ensure that any development, modification, alteration, or extension affecting a Protected Structure and/or its setting is sensitively sited and designed, and is appropriate in terms of the proposed scale, mass, height, density, layout and materials.*
- (e) *Ensure that the form and structural integrity of the Protected Structure is retained in any redevelopment and ensure that new development does not adversely impact the curtilage or the special character of the Protected Structure.*
- (f) *Respect the historic fabric and the special interest of the interior, including its plan form, hierarchy of spaces, structure and architectural detail, fixtures and fittings and materials.*
- (g) *Ensure that new and adapted uses are compatible with the architectural character and special interest(s) of the Protected Structure.*
- (h) *Protect and retain important elements of built heritage including historic gardens, stone walls, entrance gates and piers and any other associated curtilage features.*
- (i) *Ensure historic landscapes, gardens and trees (in good condition) associated with Protected Structures are protected from inappropriate development.*
- (j) *Have regard to ecological considerations for example, protection of species such as bats.*

BHA3: Loss of Protected Structures

That the City Council will resist the total or substantial loss of Protected Structures in all but exceptional circumstances:

Other relevant policies in the Chapter 11 of the Development Plan include:

BHA5: Demolition of Regional Rated Building on NIAH

That there is a presumption against the demolition or substantial loss of any building or other structure assigned a 'Regional' rating or higher by the National Inventory of Architectural Heritage (NIAH), unless it is clearly justified



in a written conservation assessment that the building has no special interest and is not suitable for addition to the City Council's Record of Protected Structures (RPS); having regard to the provisions of Section 51, Part IV of the Planning and Development Act, 2000 (as amended) and the Architectural Heritage Protection Guidelines for Planning Authorities (2011)

BHA6: Buildings on Historic Maps

That there will be a presumption against the demolition or substantial loss of any building or other structure which appears on historic maps up to and including the Ordnance Survey of Dublin City, 1847. A conservation report shall be submitted with the application and there will be a presumption against the demolition or substantial loss of the building or structure, unless demonstrated in the submitted conservation report that it has little or no special interest or merit having regard to the provisions of the Architectural Heritage Protection Guidelines for Planning Authorities (2011)

There are three NIAH records related to structures on the subject site. These relate to the Gateway onto Parkgate Street, the River Wall and the former Georgian house. It is proposed to carry out restoration and other works to the first two, but the house is proposed to be demolished, as is permitted under ABP-306569-20. When the present owners acquired the site in late 2018, the house was found to be a dangerous structure in a state of near collapse. In 2022, in order to make the structure of the house safe, the house was reduced in height to one storey over ground level. This report includes some photographs showing the condition of the house some five years ago.

As is shown on the historic mapping included above, most of the structures on the site post date the 1847 Ordnance map. Parts of the structures proposed to be demolished appear to be remnants of structures dating from the first 20 years of the 19th century and appear to have been associated with the Royal Phoenix Ironworks.

The Architectural Heritage Protection Guidelines

The *Architectural Heritage Protection Guidelines for Planning Authorities* (2011) set out comprehensive advice in relation to conservation and the management of the historic built environment. However, the Guidelines clearly advocate a balanced approach. For example, while the Guidelines state *"historic structures are a unique resource. Once lost, they cannot be replaced. If their special qualities are degraded, these can rarely be recaptured."* (Section 7.2.1), the Guidelines also clarify that *"entry into the Record of Protected Structures does not mean that a structure is forever frozen in time. Good conservation practice allows a structure to evolve and adapt to meet changing needs while retaining its particular significance."* (Section 7.2.2).

The Guidelines advocate strongly for ensuring that historic buildings are kept in active use as a mechanism for ensuring conservation of buildings of architectural heritage value, as set out at Section 7.3:

It is generally recognised that the best method of conserving a historic building is to keep it in active use. Where a structure is of great rarity or quality, every effort should be made to find a solution which will allow it to be adapted to a new use without unacceptable damage to its character and special interest. Usually the original use for which a structure was built will be the most appropriate, and to maintain that use will involve the least disruption to its character. While a degree of compromise will be required in adapting a protected structure to meet the requirements of modern living, it is important that the special interest of the structure is not unnecessarily affected. Where a change of use is approved, every effort should be made to minimise change to, and loss of, significant fabric and the special interest of the structure should not be compromised.

Section 7.7, is relevant to the subject application as it promotes minimum intervention with buildings of architectural heritage value:

7.7.2 In granting planning permission, a planning authority should be satisfied that works are necessary, whether these be repair works to the fabric of the building or adaptations to the structure to allow it to perform a new or enhanced function. Over-restoration of historic buildings can be detrimental to their character and value. Old buildings both charm and inform for the very reason that they are old. Bulging or leaning walls, unevenness and bowing are not necessarily imperfections to be ironed out but are evidence of the building's antiquity. Such evidence of a patina of age is irreplaceable and should be preserved where possible with appropriate professional advice.

7.8.2 In order to appreciate the integrity of a structure, it is important to respect the contribution of different stages of its historical development. Concentration on whether or not various parts of a building are 'original' can obscure the fact that later alterations and additions may also contribute to the special interest of the structure. Of course there may be alterations or additions which have not contributed to the special interest of the building, and which may in fact have damaged it.

7.9.2 Many historic structures date from a time when the majority of building materials were wrought by hand. These materials have a variety and vitality that cannot be matched by machine-made materials. Tooling and chisel marks on stonework, undulations in blown-glass panes, and adze marks on timber elements supply a wealth of irreplaceable information about the people and the times that produced these structures. Also, through time, a structure and its components acquire a patina of age that cannot be replicated. The unnecessary replacement of historic fabric, no matter how carefully the work is carried out, will have an adverse effect on the character of a building or monument, seriously diminish its authenticity and will significantly reduce its value as a source of historical information. Replacing original or earlier elements of a building with modern replicas only serves to falsify the historical evidence of the building.

Section 8.3 relates to the repointing of stonework

8.3.15 Repointing has the potential to cause physical damage to the fabric of the building, radically alter its appearance and substantially detract from its character and quality. A proposal to repoint stonework of a protected structure, which would materially alter its character, requires planning permission; and, where permitted, the work should be carried out by experienced people and under the direction of a specialist with a working knowledge and experience of historic buildings.

8.3.16 Repointing should be considered a repair which replaces lost or damaged fabric with that of a compatible and appropriate mix (or series of mixes), material and appearance, providing always that the existing pointing is not inappropriate or damaging to the stonework. Comprehensive repointing of a structure is rarely necessary, unless the existing pointing has deteriorated and is causing damage to the stonework or other fabric. It should be a condition that sound old pointing is left undisturbed as it is an essential part of the fabric and character of a historic building or structure and should not be removed unnecessarily.

Section 13.1 comments on the determining the curtilage of a protected structure:

13.1.1 By definition, a protected structure includes the land lying within the curtilage of the protected structure and other structures within that curtilage and their interiors. The notion of curtilage is not defined by legislation, but for the purposes of these guidelines it can be taken to be the parcel of land immediately associated with that structure and which is (or was) in use for the purposes of the structure. It should be noted that the meaning of 'curtilage' is influenced by other legal considerations besides protection of the architectural heritage and may be revised in accordance with emerging case law...

13.1.3 It should be noted that the definition of curtilage does not work in reverse – a stable building may be within the curtilage of the main house which it was built to serve but the main house cannot be described as being within the curtilage of the stable building. It should also be noted where a protected structure is an element of a structure, it may, or may not, have a curtilage depending on the degree to which it could in its own right be considered to be a structure. For example, a re-used doorway affixed to a later structure could not be said to have a curtilage."

The statutory context identified above has been taken into account in the assessment of impacts, in so far as this statutory context relates to heritage impact.

Assessment of Effects on Architectural Heritage • Methodology

Section 51(1) of the Planning and Development Act 2000 (as amended) states:

For the purpose of protecting structures, or parts of structures, which form part of the architectural heritage and which are of special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest, every development plan shall include a record of protected structures, and shall include in that record every structure which is, in the opinion of the planning authority, of such interest within its functional area.

Therefore, the Act defines architectural heritage as connected to architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. It is for each Planning Authority to decide if a structure is of sufficient special interest with regard to any or all of these eight indicators to warrant that structure being entered in the Record of Protected Structures. Structures that are not Protected Structures may still be of heritage value because they are considered as having some level of interest under one or more of the eight indicators. It follows, therefore, that the extent of impact or effect on the architectural heritage of a structure, and in consequence on the architectural heritage of the surrounding area, will be a measure of the extent to which its heritage interest is altered or removed. The effect can be positive if the heritage interest is enhanced or negative if the heritage interest is diminished.

This assessment was prepared with reference to the *Department of Arts, Heritage and the Gaeltacht's Architectural Heritage Protection Guidelines for Planning Authorities (2011)*.

This assessment of effects on Architectural Heritage had regard to the *Guidelines on the Information to be Contained in Environmental Impact Assessment Reports* prepared by the Environmental Protection Agency (2022), and to Directive 2011/92/EU (as amended by Directive 2014/52/EU) on the assessment of the likely effects of certain public and private projects on the environment.

The list of definitions given below is taken from *Table 3.4: Descriptions of Effects* contained in the *Guidelines on the Information to be Contained in Environmental Impact Assessment Reports* prepared by the Environmental Protection Agency. Some comment is also given below on what these definitions might imply in the case of architectural heritage. The definitions from the EPA document are in italics.

- **Imperceptible:** *An effect capable of measurement but without significant consequences.* The definition implies that there would be minor change to an aspect of the heritage interest of a structure, but not one that would be readily noticeable to the casual observer; and not a change that would materially alter the overall heritage interest of the structure.
- **Not Significant:** *An effect which causes noticeable changes in the character of the environment but without significant consequences.* The definition implies that there would be changes to aspects of the heritage interest of a structure capable of being noticed by an observer who is actively assessing the effects of changes to the heritage interest of a structure for the purposes of planning consent, and, although there may be changes to aspects of the heritage interest of a structure, these changes would not be considered material with reference to planning consent.
- **Slight:** *An effect which causes noticeable changes in the character of the environment without affecting its sensitivities.* The definition implies that there would be changes to aspects of the heritage interest of a structure or part of that structure. However, apart from such changes, the overall heritage interest of the structure, and/or its contribution to its surroundings, would remain substantially intact.
- **Moderate:** *An effect that alters the character of the environment in a manner that is consistent with existing and emerging baseline trends.* In this case, there would be material changes to the heritage interest of a structure or part of that structure; and these changes must be consistent with a pattern of

change that is already occurring or is likely to occur.

- **Significant:** *An effect which, by its character, magnitude, duration or intensity alters a sensitive aspect of the environment.* The definition implies that there would be material changes to aspects the heritage interest of a structure or part of that structure; and these changes would not be consistent with an acceptable pattern of change that is already occurring.
- **Very Significant:** *An effect which, by its character, magnitude, duration or intensity significantly alters most of a sensitive aspect of the environment.* The definition implies that the heritage interest of a structure would be changed to a considerable degree and these changes would not be consistent with an acceptable pattern of change that is already occurring. For example, a “very significant” effect would occur where the heritage interest of a structure would be substantially removed as a result of a proposed development, though parts of the structure might remain intact.
- **Profound:** *An effect which obliterates sensitive characteristics.* The definition implies that a development would result in the loss of the heritage structure, or all of its heritage significance.

This assessment relates solely to Effects on Architectural Heritage, and does not concern itself with other effects, beneficial or adverse.

The loss of a structure of heritage interest, even a minor structure, will result in a profound negative effect on the architectural heritage of structure itself, though perhaps only a slight negative effect on the architectural heritage of the surrounding area. The removal of a heritage structure might result in a whole range of potentially significant beneficial effects in terms of planning gain and sustainable development; but these are not of themselves positive effects on architectural heritage and are not evaluated as part of this assessment.

Potential Effects on Architectural Heritage

This Architectural Heritage Impact Assessment (AHIA) concentrates on describing the heritage structures on the subject site and the potential effects on them of the construction and existence of the proposed development. The proposed development will have no direct physical impact on surrounding heritage structures. Surrounding heritage structures include: Heuston Station, the former Dr Steevens Hospital, the Royal Hospital Kilmanham, Collins Barracks, the former Royal Military Infirmary, the Wellington Monument, Guinness Brewery, and a number of protected structures and other heritage structures on surrounding streets. Potential impacts on surrounding heritage will be visual effects on the setting of heritage structures or spaces. These visual effects are discussed in some detail in the Visual Impact Assessment (VIA) also prepared by ARC Consultants, where visual effects on surrounding architectural heritage is assessed as ranging from ‘none’ to ‘moderate’

On the following pages, a brief description is provided of each of the main historic elements on the site of the proposed development. Some structures on the site are listed in Record of Protected Structures, but other structures are not. The wording of the Record in the Record of Protected Structures specifically excludes some of the larger structures on the site. The wording is as follows:

Parkgate Street, Dublin 8

Former Parkgate Printing Works, now known as Parkgate House. Only the following structures are included in the Record of Protected Structures: (a) riverside stone wall; (b) turret at eastern end of site; (c) square tower on the riverfront; and (d) entrance stone arch on the Parkgate Street frontage.

In using the words: ‘*Only the following structures are included in the Record of Protected Structures*’, the Planning Authority has restricted the listing on the site to four structures that are all boundary structures.

Items a) and d) are also listed in the National Inventory of Architectural Heritage (NIAH). Items b) and c): the round turret and the square tower are not, though they are referred to in the text of the NIAH listing of the River Wall. Structures that are not listed in the Record of Protected Structures include:

- The large warehouse building at the eastern end of the site that covers almost half the overall site
- The long curved wall of the warehouse facing onto Parkgate Street
- Two gabled industrial buildings on the River front at the west end of the River Wall
- A small two storey building attached to the inside of the eastern side of the arched entrance gateway
- The ruins of a late Georgian house near the north west corner of the site

Of these five structures, only the ruinous Georgian house is listed in the NIAH. The NIAH descriptions contain some inaccuracies, which are discussed in the following pages item by item.

As part of the proposed development, it is proposed to retain all the structures listed in the Record of Protected Structures. This will involve restoration works to all the structures. It is proposed to alter the River Wall by enlarging some of the existing and former openings in the wall and by creating some new openings. It is proposed to retain the larger of the two gabled industrial buildings on the River front and part of the smaller gabled building. While it is proposed to demolish the rest of the remaining structures, it is proposed to retain some of the large cast iron structural elements from the warehouse for use in the new development.

Permission for works to the existing structures and for the demolition of others, whole or in part, was granted in 2020 by An Bord Pleanála in 2020, ABP-306569-20. At the time that application was made the site of the proposed development was occupied by Hickey's fabric company, and their presence somewhat restricted access to and investigative opening up of some of the existing structures. The subject site and the buildings on it are now in the full possession of the present applicants. This has permitted more detailed examination of the existing structures, which in turn has allowed the development of more detailed design drawings for interventions to the existing structures than was possible when the application granted in 2020 was made. These more detailed drawings, prepared by Reddy Architecture + Urbanism, are submitted as part of this application.

All the proposals for these structures have the potential to give rise to direct effects on the architectural heritage of the structures themselves and indirect effects on the architectural heritage of the surrounding area. Where structures are proposed to be retained there is the potential for positive effects on architectural heritage. Where structures are proposed to be removed, this will result in negative effects on architectural heritage, though beneficial effects in relation to matters other than architectural heritage may occur. On the following pages, a brief description and assessment is provided in the case of each of the 10 main structures of heritage value on the development site beginning with the 4 structures listed in the Record of Protected Structures.

The Riverside Stone Wall

The wall is listed in the Record of Protected Structures as (a) *riverside stone wall*. It is also listed in the National Inventory of Architectural Heritage at Record No 50060349. The text of the NIAH description begins:

Boundary wall originally enclosing Phoenix Iron Works, erected c.1820. Composed of roughly coursed granite rubble with areas of brick repair, cement skirting over river bank. Terminated at east by round-plan turret in granite ashlar having cornice and blocking course. Shortened to west end terminated by brick and stone buildings. Remains of apertures along the wall, possibly for drainage. Single square-headed window to east end, with brick jambs, concrete lintel, and metal-framed window. Overlooking River Liffey.

The NIAH appraisal continues:

A well-constructed boundary wall, once forming part of the Phoenix Iron Works and related to Dublin's industrial history. The extent of the wall is much shorter than it was when originally constructed in the early nineteenth century, and only one of two attractive terminating circular piers now remains. Falling to the banks of the Liffey, this is an important remnant of one of Dublin's most prominent nineteenth-century foundries, providing an important part of the industrial archaeology of the Liffey.

What is stated in the NIAH record is largely incorrect. Firstly, both the wall and the turret are built almost entirely of limestone, not granite. The way the wall abuts the east turret strongly indicates that the wall is later than the turret. Evidence from Ordnance mapping strongly indicates that there was never a continuous wall along the river bounding the Phoenix Iron Works, and so the wall is not a fragment of a much longer wall. Evidence also suggests that this wall is part of the 1880s reconstruction of buildings on the site, with numerous later changes to the wall; and so is not from circa 1820.

The quality of the stonework in the wall varies. There is good quality coursed rubble stonework at the eastern end of the wall, particularly towards the bottom of the wall, but the coursing tends to break down moving up the wall and towards the western end. Some of the wall is relatively crude random rubble work rather than coursed rubble. Parts of the wall tilt back away from the River. The greatest extent of this tilt is 160mm.

The dimensions of the coursed rubble stonework in the wall are unusual. Typically, horizontal courses – dayworks – would be about 18 inches high, some 460 mm. However in the River wall, the courses are more frequent, varying between 380 mm and 400 mm. this could be an indication of the wall being built of stone reused from previous buildings on the site.

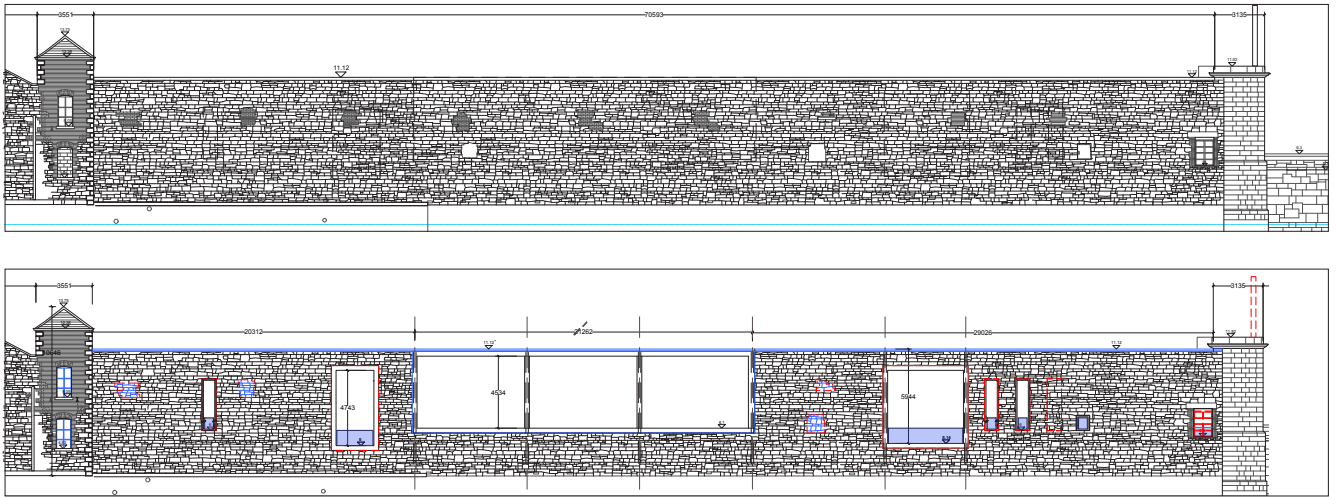
As part of the proposals for the new development, its proposed to alter the riverside wall, a Protected Structure. The alterations include partial demolition of the wall so as to create new openings, including one very large opening. The purpose of the new openings is to provide open views south onto the River and towards Heuston Station from a new public plaza within the proposed scheme. It is also proposed to enlarge some existing openings in the wall and to repair others, including filling existing openings with new coursed rubble limestone stonework to match the pattern of the existing wall. Approximately 24% of the superstructure of the wall above the water line will be removed to make the new openings. It is also proposed to repair the existing parapet of the wall replacing any decayed parapet stones with new stones of the same profile

The loss of substantial areas of original fabric from the wall will result in significant negative effects on the architectural heritage of the wall. The repair works to the riverside wall are likely to give rise to positive effects on the heritage of the wall. Works to the wall are permitted under ABP-306569-20.

Riverside Stone Wall



Close-up view of part of the Riverside Stone Wall. The wall is constructed of limestone in a coursed rubble pattern. The courses (dayworks) appear to range in height from 375mm to 400mm. This is less than the more normal 460mm (18 inches) and could suggest that the stone is second hand coming from former buildings on the site. The stonework pattern is less regular towards the top of the wall, and the stones near the top of the wall are smaller.



Architect's Elevations from the River showing the Riverside Wall as existing (above) and as proposed (below)

In the Planning Report and Statement of Consistency prepared by Stephen Little and Associates and lodged as part of the planning application documents, the question of the partial demolition of the Riverside Stone Wall is discussed, and it is suggested that the creation of the new openings in the Wall is occasioned by particular exceptional circumstances.

The proposed development has the potential to contribute to placemaking in the new Heuston Quarter. In the text of SDRA 7 the Heuston Quarter is described as a potential '*western counterpoint to the Docklands*'. Public space is central to placemaking, and the location of the proposed public plaza offers the potential of celebrating the enjoyment of a relationship with the River Liffey and with the great public concourse in front to Heuston station. No other location for a public space on the development site or, for that matter, anywhere else in the Heuston area, offers the same potential for relationships with both the River and the public space in front of Heuston Station. Leaving the Riverside Stone Wall unaltered, a barrier, would prevent such relationships being realised.

The Heuston area is one dominated by the tumult of transport and traffic: trains, trams, trucks and taxis; buses and bicycles, scooters and segways. The proposed public plaza will be an island among all this bustle; a place of safety, a protected public space; a place made for pedestrians; a south facing space for public enjoyment not mediated by the 'roaring traffic's boom'; a space for looking out over the silent River. There is no other possible location for a public space in the Heuston area where the public can enjoy protection and yet be at the centre of all the activity of Dublin's great western transport hub.

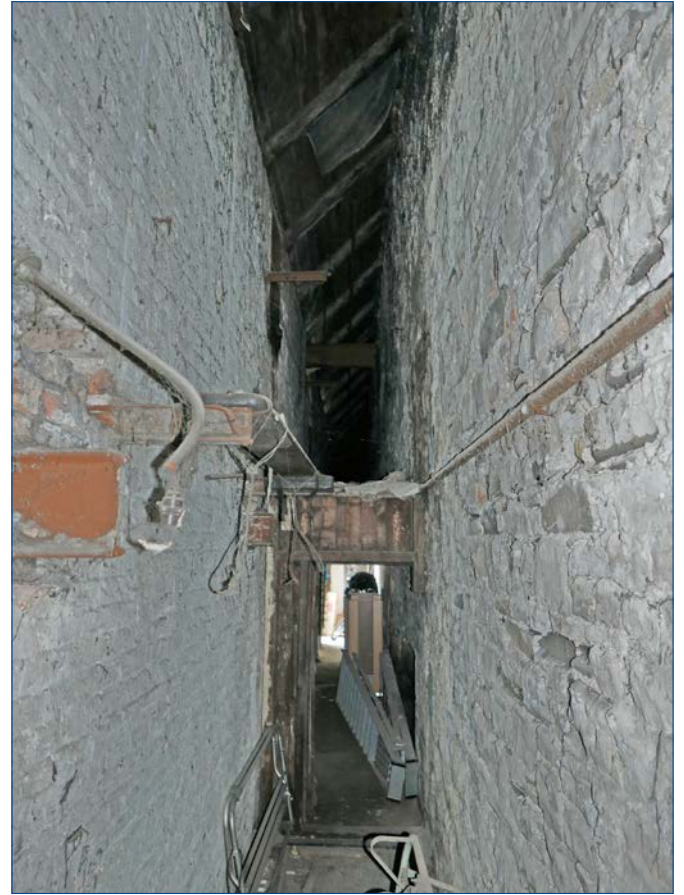
The circumstance of the location and potential of the proposed public plaza is not just exceptional; it is unique. If the wall remains unaltered this potential will be lost.

When permission for development on the subject site, including works as described above to the Riverside Wall, was granted by An Bord Pleanála in 2020, ABP-306569-20, this permission required compliance submissions, including under Condition 4 (iv), a compliance submission relating to the detail of the interventions to the Riverside Wall. This compliance submission was made in late 2020, and included detailed drawings of the works to the Riverside Wall. These detail drawings now form part of the current application. As is noted above, the Riverside Wall leans back from the river to a small degree, and so the proposed works to the Wall include the introduction of columns and beams and other structural element that, as well as trimming around new proposed openings in the wall, are also intended to act as structural elements that stabilise the wall.

Riverside Stone Wall



Inside of the Riverside Stone Wall, looking east and upwards near the east end of the wall. At the east end of the warehouse, two cast iron roof beams continue to the Riverside Stone Wall. The rest of the beams do not



Interior of the apse between the Riverside Stone Wall (right) and a separate inner brick wall(left), looking east and upwards near the west end of the Riverside Stone Wall.



View in the Warehouse, looking south towards the arches of the separate inner brick wall. In all but two cases, the cast iron beams supporting the roof stop at the inner wall and do not continue to the Riverside Stone Wall.

Turret at the Eastern End of the Site



The Eastern Turret as seen from the south side of the River Liffey

Turret at the Eastern End of the Site

This Turret appears on the First Edition Ordnance map of c.1837 as the eastern turret of a pair of turrets marking the eastern and western end of the river boundary of the Phoenix Ironworks. The western turret, located well west of the current development site, was fully circular on plan. This turret may also have been fully circular when first built, but currently extends to only a little more than a semicircle. The Turret is listed by Dublin City Council in the Record of Protected Structures as one of four protected boundary features on the site.

The two walls that attach to it, the river wall and the curving grey painted brick wall on Parkgate Street, both date from the construction of the Kingsbridge Woollen Works in the mid 1880s and are, therefore probably some 75 years later than the Turret. The NIAH mentions the two turrets as part of its assessment of the River wall, assuming the River wall and the Turret to be contemporary, which is repeatedly contradicted by the mapping evidence.

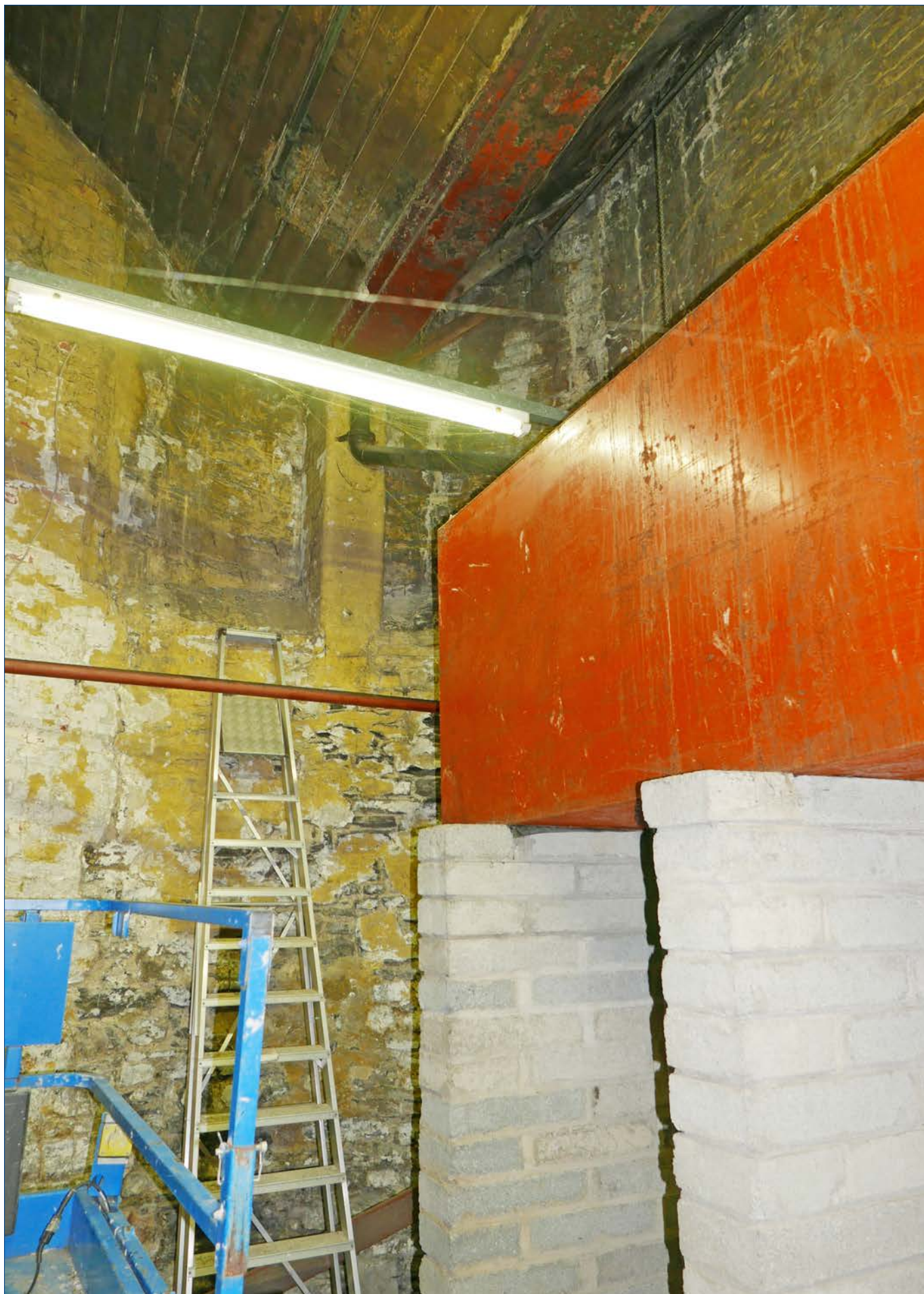
The turret is constructed in the main of cut limestone in an ashlar pattern. The cornice and blocking course are in granite. The Turret appears visually to be in relatively good condition though there is a need for some careful non aggressive stone cleaning, removal of plants, and minor stone and pointing repair. Any appropriate repair works to the Turret are likely to give rise to positive effects on the heritage of the Turret, and on the surrounding architectural heritage.

Turret at the Eastern End of Site



The turret is constructed in the main of cut limestone in an ashlar pattern. The cornice and blocking course are in granite. The Turret appears visually to be in relatively good condition though there is a need for some careful non-aggressive stone cleaning, removal of plants, and minor stone and pointing repair. The opening in the flank wall near the foot of the Turret is where the Viceregal Stream enters the River Liffey

Turret at the Eastern End of Site



Interior of the Turret looking east. It will be noted, that for most of its height, the inner face of the wall of the Turret does not follow the curved line of the outside face. The inside face may have been built up in the 1880s in order to support the cast iron gutter carrying the roof of the Warehouse into the curve.

Square Tower on the Riverfront



River Elevation of the Square Tower and the Large and Small Gabled buildings facing the river

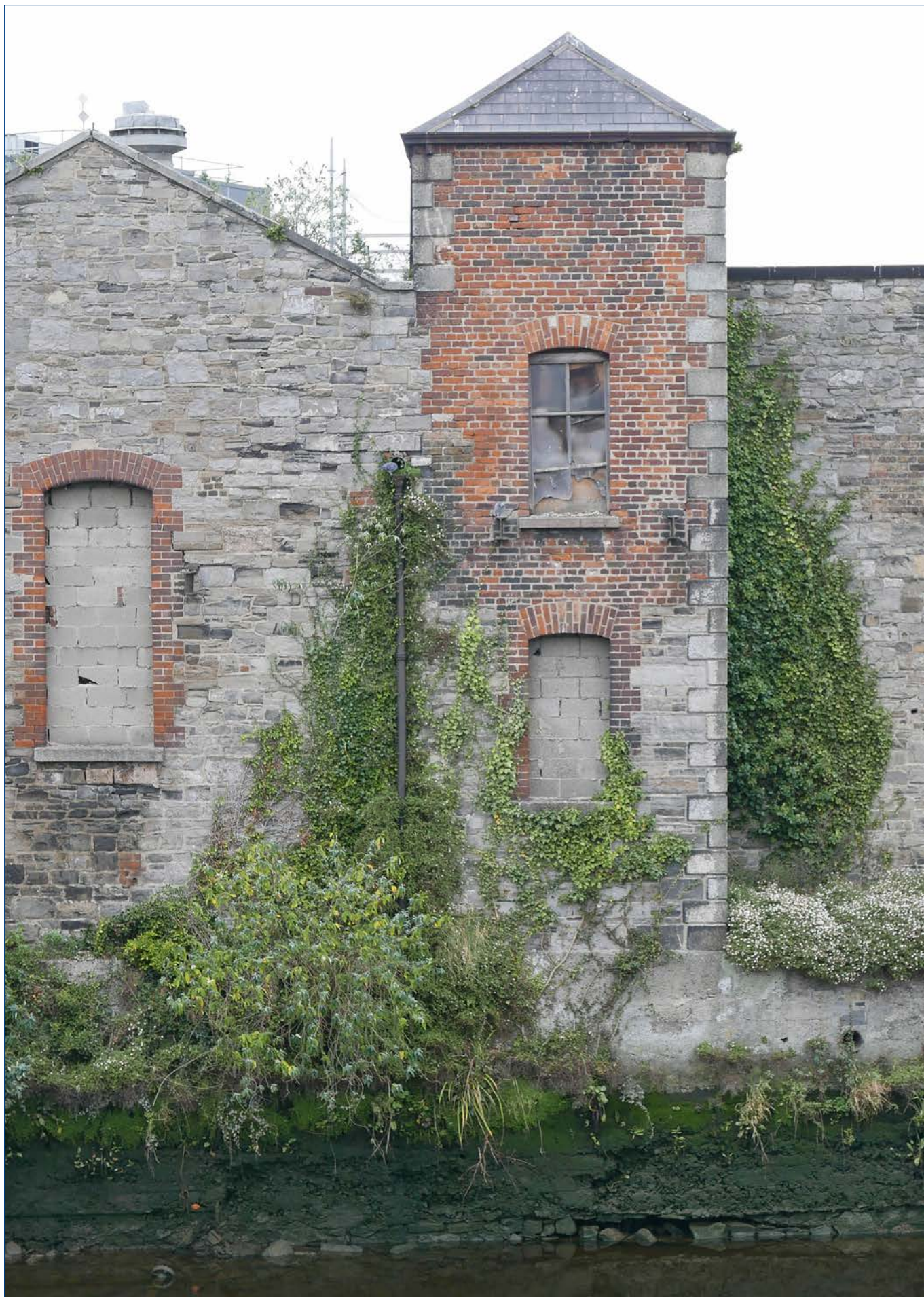
The Square Tower on the Riverfront

The Square Tower on the Riverfront first appears on the 1889 Ordnance map together with the small and larger gabled industrial buildings immediately to the west of the Square Tower. All three are part of the Kingsbridge Woollen Works constructed by Edward C Guinness in the mid 1880s. The Square Tower is a protected structure. The two gabled structures are not

The Square Tower appears visually to be in relatively good condition though there is a need for some careful non aggressive stone cleaning, removal of plants, and minor stone and pointing repair. The roof will need to be examined but may need only maintenance. Any appropriate repair works to the Tower are likely to give rise to positive effects on the heritage of the Tower, and on the surrounding architectural heritage.

It can be noted from the steel brackets projecting from the tower and gabled buildings, and from the general relationship of these buildings with the River, that these buildings had a direct use in connection with the River. It would be important that in their new uses as part of the proposed development, that these buildings would retain uses directly connected with the River.

Square Tower on the Riverfront



South elevation of the Square Tower at the Riverfront. The Tower is built partly of brick with coursed limestone rubble at the lower level. The quoins are granite. No original doors or windows remain. It is proposed to open any blocked up openings and fit modern doors and windows in the original openings.

Square Tower on the Riverfront



Oblique view of the river buildings, looking north west. The shape of the shadow of the square tower on the river wall suggests that the upper half of the river wall tilts back at that point. There is an opening on the east side of the Square Tower, a former door or window. It is proposed to fit a simple modern window into this opening.



Interior of the small square tower on the river, looking upward.

Entrance Stone Arch on the Parkgate Street Frontage

The Phoenix Ironworks were established by Richard Robinson in 1808. It is likely that the entrance gateway dates from a little later. The gateway is listed in the National Inventory of Architectural Heritage at Record No 50060346. The NIAH record is as follows:

Description

Attached arched granite gateway, formerly to Phoenix Iron Works, built c.1820. Formerly symmetrical, comprising double-height arched entrance with lower flanking wings. Only eastern wing remains. Walls are tooled ashlar granite throughout. Piers with plain projecting impost mouldings carry semi-circular arch with ashlar voussoirs. Voussoirs to south inner elevation rendered over. Plain granite coping and stepped blocking course to arch and flanking wing. Rendered semi-circular arch to east wing (probably infilled former pedestrian entrance), with brass letter slot and slate sign reading 'Regd Office Hickey & Co. Dún Laoghaire Ltd'. Surmounted by three-stage rebated rectangular niche formed in dressed granite blocks. Steel gates to arch, and further steel gate attached to rear of arch, now in use as vehicular entrance. Street fronted.

Appraisal

The remains of a fine former gateway into what was once the Royal Phoenix Iron Works. This enterprise was founded by engineer and iron founder Richard Robinson, at the beginning of the nineteenth century and its name is associated with many iconic and historic structures in Dublin and further afield, including King's Bridge, erected to commemorate the visit of George IV to Dublin in 1823. The structure exhibits fine classical proportions, and is executed in ashlar granite. Its symmetry has now unfortunately been destroyed by the removal of one of the lower flanking wings to provide access to the site for modern vehicles.

The gateway is constructed mainly of limestone, not granite, though there are granite details. There is a rendered area in the western flank of the gateway that would suggest that there was intended to be a second flanking wing wall so that the gateway as a whole would be symmetrical, but the evidence of Ordnance mapping would suggest that there was never a western wing to the gateway. The partly rendered area in the eastern wing wall covers granite dressed stonework in a distressed condition, surrounding a former round headed opening that perhaps gave into a building behind. The gateway is listed in the Record of Protected Structures as part of Record No 6320 as: *(d) entrance stone arch on the Parkgate Street frontage.*

The Entrance Arch shows significant evidence of stone damage, particularly to the granite detail. It will not be possible to determine the extent of necessary stone repair and replacement without further opening up. There is a clear need for some careful non-aggressive stone cleaning, major and minor local stone repair and local pointing repair. Any appropriate repair works to the Entrance Arch are likely to give rise to positive effects on the heritage of the Entrance Arch, and on the surrounding architectural heritage. The Entrance Archway is proposed to be retained as part of the proposed development and to form a main entrance to the new scheme

Entrance Stone Arch on the Parkgate Street Frontage



The gateway is constructed mainly of limestone, with granite details. The projecting string course and blocking courses above are granite. The partly stripped rendered area in the eastern wing covers granite dressed stonework in a distressed condition, surrounding a former round headed opening that perhaps gave into a gate lodge or entrance building behind. The rectangular panel above is granite. The granite elements of the gateway have suffered much more decay than the lime stone and will need extensive repair or, in some cases, replacement



View of the inside of the gateway after removal of cementitious render from the inner brick arch. the brickwork may have had a lime render originally or may have been exposed



Detail of the springing of the stone and brick arches, showing the decay of the granite string course and evidence of structural movement

Entrance Stone Arch on the Parkgate Street Frontage



Arched side entrance in the eastern flank wall to the gateway. Perished granite stonework can be seen where areas of render has been stripped off. Originally there may have been a round headed doorway, a window opening, or possibly simply a recessed panel.

The Large Warehouse Building



The Large Warehouse Building

The evidence from Thom's Directory, taken together with the evidence of Ordnance mapping, strongly indicates that the present main warehouse on the site and the two gabled buildings to the south west of it were built between 1882 and 1886 under the direction of Edward C. Guinness, later the 1st Earl of Iveagh.

The roof structures of the original Phoenix Ironworks buildings, given their date, were most probably timber framed. The proposal to manufacture cloth called, not just for large internal spaces, but also for a change to structures of iron or steel.

Processes for the manufacture of cloth give rise to the presence of fine fibres in the air. This mixture of air and fibres is explosive, and flash fires in early cloth mills tended to ignite timbers in the building, causing the mill buildings to burn to the ground. To combat this, mill owners in England began to frame the interiors of their mills in iron rather than timber. The first such iron-framed building was Ditherington Mill at Shrewsbury completed in 1797. It made sense, therefore, that the roof structure and interior structures in the new Kingsbridge Woollen Works would be in iron and steel.

The warehouse roof structure consists of cast iron columns, for the most part at 24 foot centres, carrying cast iron beams running in a north-south direction at right angles to the River; these cast iron beams in turn carry large iron gutter beams running east-west at 12 foot centres, these gutter beams in turn carrying a timber framed northlight roof. The northlight roof consists of 16 'A' shaped sections of roof extending east-west, with the feet of the 'A' resting on the cast iron gutter beams. The north facing side of each 'A' is glazed while the south facing side is solid; hence the term northlight.

The cast iron columns and beams used to support the warehouse roof are most probably standard components available at the time, rather than structural elements specifically designed for the building. The warehouse is surrounded by high walls and the north-south cast iron roof beams and east-west cast iron gutter beams run into and are supported at the ends by these walls. The surrounding walls, therefore, provide lateral bracing to the warehouse roof structure.

On the southern side, there is an inner brick wall, parallel to but not as long as the Riverside Stone Wall; and this inner wall supports the southern ends of the north-south cast iron roof beams, except for two cast iron roof beam near the south east corner of the warehouse that continue to the outer Riverside Stone Wall. The inner brick wall is separate to and independent of the outer Riverside Stone Wall. On the east side, and curving around to the north, the high grey painted brick wall along Parkgate Street carries the ends of the east-west cast iron gutter beams, which pass through the wall to discharge into a continuous large cast iron gutter on the outside of the wall. The ends of some of the north-south cast iron roof beams are also carried by the grey brick Parkgate Street wall. On the western side, a high brick wall stops the western ends of the northlight roof. On the northern side, the glazed northern side of the most northerly and shortest of the 16 northlight 'A' roof elements of the warehouse roof runs down onto a short length of lower brick wall that forms the northern external wall of the warehouse.

The western and northern walls of the warehouse are largely concealed from view by various structures that abut the outside of the western and northern sides of the warehouse. These structures are for the most part lower than the warehouse walls and are of a variety of different dates. Some are, in part, older than the warehouse, some are very modern, and some, like the two gabled buildings on the River front, appear to have been built at the same time as the warehouse.

The manufacturer of the cast iron columns in the main warehouse has not yet been identified, but the beams are stamped with the name 'Courtney Stephens & Bailey', who had a foundry in nearby Blackhall Place.

As well as the main columns and beams supporting the northlight roof, there are secondary iron and steel structures, particularly in the gabled and other buildings attached to the south west end of the warehouse. Some of these secondary structures may be contemporary with the mid 1880s construction of the small tower and two gabled buildings on the river front. Others are definitely later. Rolled steel of various dimensions, and in various parts of the buildings, are stamped with the following names: 'Glengarnock Steel', 'Lanarkshire Steel Co Ltd Scotland', 'Cargo Fleet England'. All of these companies produced rolled steel. It is noted in Grace's Guide to British Industrial History that Glengarnock Steel pioneered the production of rolled steel joists around the year 1885. The production of rolled steel joists in the other steelworks mentioned was probably later.

The manufacture of cloth would have required belt driven machinery, and it has been suggested that the slots at the top of each of the four sides of the columns in the warehouse were to take brackets that might support belts or other equipment. Towards the south east corner of the main warehouse there is a raised mezzanine level supported on steel. The horizontal members supporting this raised floor are tram tracks. Some are stamped: '105 PHX R 1905 Made in Germany', others '1908 Made in Belgium'. The date of the construction of the mezzanine is not clear.

The warehouse is relatively grand in scale, but it is not a feat of 19th century engineering elegance. It is an ad-hoc building made of components that were available, including, probably, stone from the demolished buildings of the Phoenix Ironworks. It is proposed to demolish the warehouse, including its surrounding walls, ie:- the inner brick wall inside the protected Riverside Stone Wall, the brick wall to Parkgate Street, and the western and northern warehouse walls. The protected Riverside Stone Wall will be retained, but alterations to it are proposed which are detailed above. The loss of the warehouse will be a heritage loss, but without this loss there will be no real prospect of development on this site. The loss of the warehouse is regarded as giving rise to a moderate effect on architectural heritage. The proposed reuse of some of the cast iron elements from the warehouse as features in the open spaces of the proposed development, has the potential to give rise to positive effects on architectural heritage.

The Large Warehouse Building



View looking west from the centre of the main Warehouse. The Warehouse is roughly triangular on plan. On the southern side, there is an inner brick wall, parallel to but not as long as the Riverside Stone Wall. On the east side, and curving around to the north, there is high grey painted brick wall along Parkgate Street. To the west and north there are also brick walls. The surrounding brick walls support the ends of the cast iron beams and gutters.



Mezzanine structure near the south west corner of the Warehouse. One of the main columns is seen with a collar supporting two lengths of tram track passing at right angles. One special extended main roof beam continues to the external Riverside Wall



View of the interior of the large warehouse, looking north west. The curved brick wall to facing onto Parkgate Street is seen to the right, with cut back cast iron roof beams built into the wall.

The Large Warehouse Building



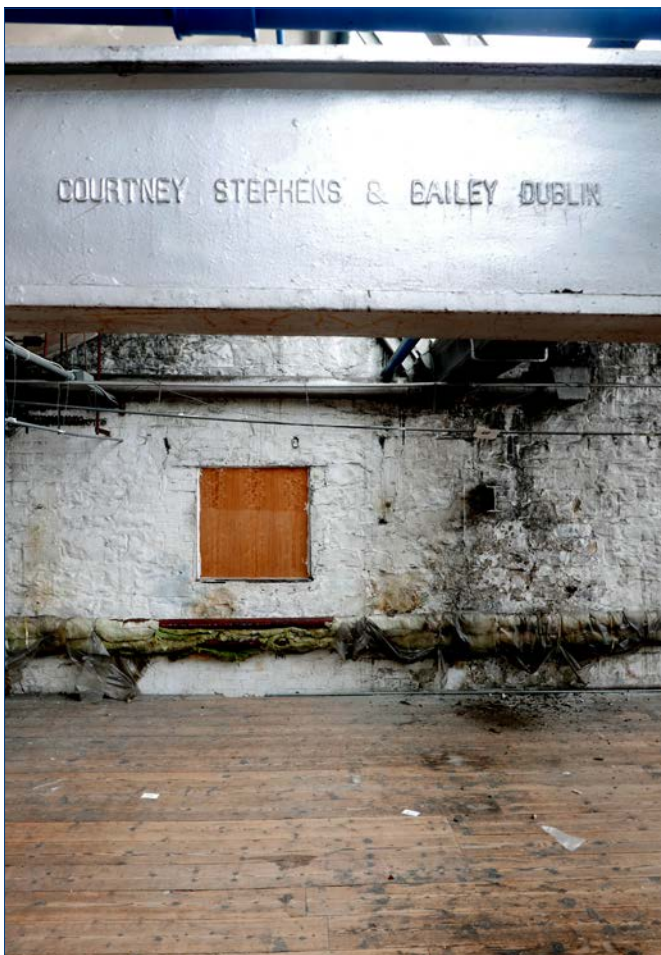
View in the Warehouse looking towards the north west corner. The 24 foot cast iron beams bear the name 'Courtney Stephens & Bailey'. These beams in turn support cast iron gutters spanning 12 feet that support the 'northlight' roof. It has not been possible to establish the origin of the columns supporting the roof beams.



Interior of the Warehouse when it was in use as the Dublin National Shell Factory, during the last years of the First World War. The view looks south at the west side of the warehouse (Imperial War Museum).



Mezzanine level in the south west corner of the Large Main Warehouse.



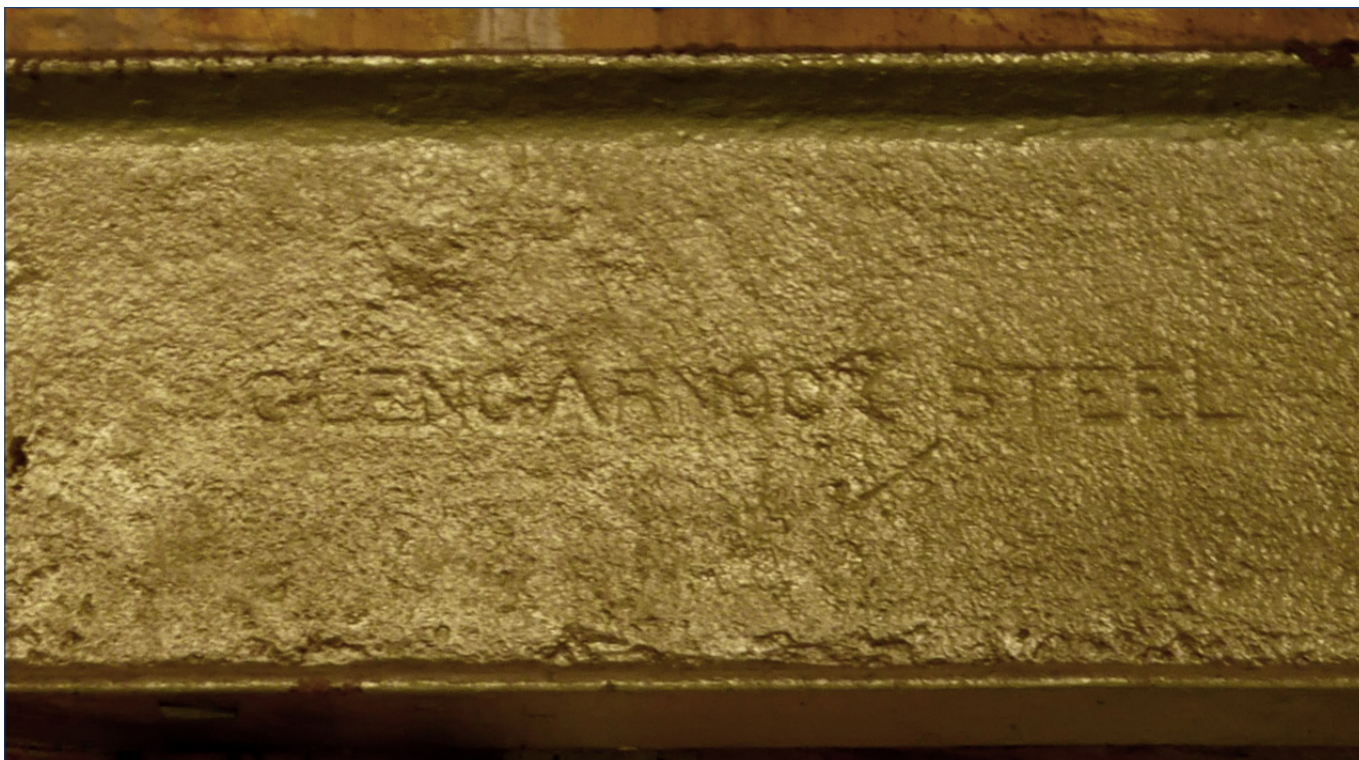
Foundry name on the side of one of the main cast iron roof beams



Detail at the head of a column showing the meeting of two roof beams and the cast iron gutter beam above.



The Large Warehouse Building



The name 'Glenarnock Steel' marked on a rolled steel joist near the western side of the Warehouse.



The name 'Lanarkshire Steel' marked on a rolled steel joist near the western side of the Warehouse.



'105 PHX R 1905 Made in Germany' marked on a length of tram track forming part of a mezzanine structure near the south wall of the Warehouse. It is possible that the mezzanine was built when the building was a munitions factory, making shells to fire at the Germans.

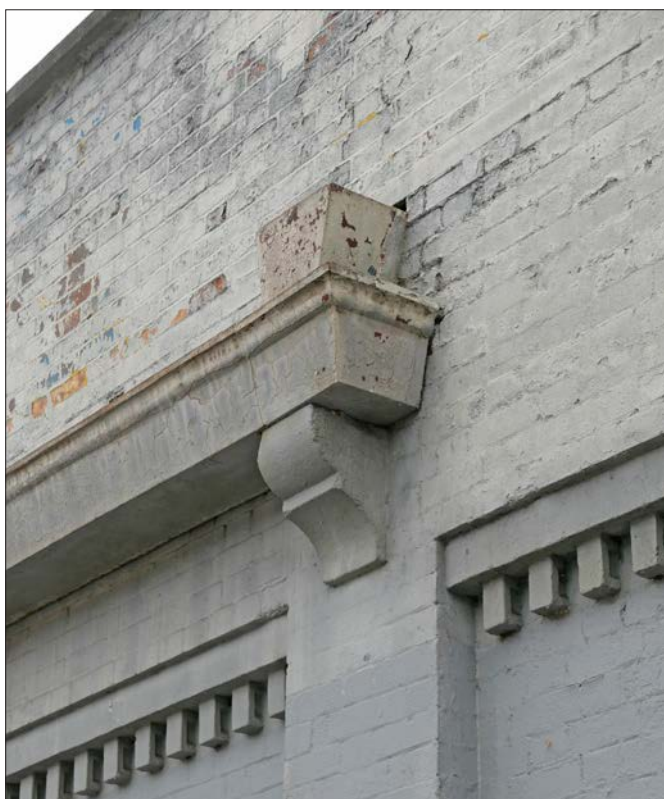


The long curved Wall of the Warehouse facing onto Parkgate Street



The long curved Wall of the Warehouse facing onto Parkgate Street

This wall, which is brickwork painted grey, was constructed with the rest of the warehouse between 1882 and 1886 under the direction of Edward C. Guinness, as part of the enterprise called Kingsbridge Woollen Works. The wall is not listed in the Record of Protected Structures, nor in the NIAH. It is a fine wall, or at least it was once, before the grey paint concealed its original character. Having been there for some 140 years it must have achieved the status of a rather dull local landmark. The loss of the wall will be a heritage loss, but without this loss there will be no real prospect of development on this site. The removal of the wall will permit the architecture of the new development to be expressed along Parkgate Street and will permit access from the street into a new public plaza facing south over the River. The loss of this wall will be a heritage loss, likely to give rise to 'moderate' negative effects on the architectural heritage of the surrounding area. The demolition of the wall is permitted under ABP-306569-20.



Granite corbel carrying a moulded cast iron gutter with cast iron gutter beam from the warehouse roof coming through the wall and discharging into the moulded cast iron gutter.



Typical bay of the wall of the warehouse facing onto Parkgate Street. Granite corbels carrying a moulded cast iron gutter with cast iron gutter beams over

Gabled Industrial Buildings on the River Front



Rectified Elevation of the Larger Gabled Building • Scale 1:100

Gabled Industrial Buildings on the River Front

The two gabled buildings and the square tower adjoining them date from the 1880s construction. These three structures appear to have been built as part of the Kingsbridge Woollen Works. What their function might have been as part of the woollen works is as yet unclear. The fact that there are steel beams projecting from the buildings and that there are timbers below rising out of the river bed would suggest that these buildings were used in the loading and unloading of goods from a wharf along the River. The present internal layout of the buildings does not offer much information as to their former use. The square tower is listed in the Record of Protected Structures, the two gabled buildings are not in the RPS; nor are they listed by the NIAH.

It would appear that the Phoenix Ironworks, the later Kingsbridge Woollen Works and the yet later Dublin National Shell Factory all depended on the River for transport, the transport of raw materials and of finished goods.

It is intended to retain the larger of the two gabled buildings and the River façade of the smaller gabled building. The retention of these unlisted buildings will retain some of the historic Riverfront character of the site and is likely to result in positive effects on the architectural heritage of the site and its surroundings. The loss of the upper level, roof and north and east walls of the smaller gabled building, retaining the River façade, will be a heritage loss, slight in the overall context. Detail drawings of the proposed interventions, prepared by Reddy Architecture + Urbanism, are submitted as part of the subject application. Precise detail of restoration works will only emerge during the works, when a full assessment of the condition of the buildings can be made following opening up.

It is proposed that these buildings will retain uses directly connected with the River. It is noted that the development includes a proposed public River walk, and the River walk will pass through the two buildings. A proposed space at the upper level of the larger of the two buildings will look out onto the River.

Gabled Industrial Buildings on the River Front



Large gabled building • north end of the west facade. Of the three openings seen in this view, only the opening to the right, with the brick trim, appears original.. The stonework is in need of cleaning, repair and repair of pointing. The slated roof needs to be repaired and reinstated.

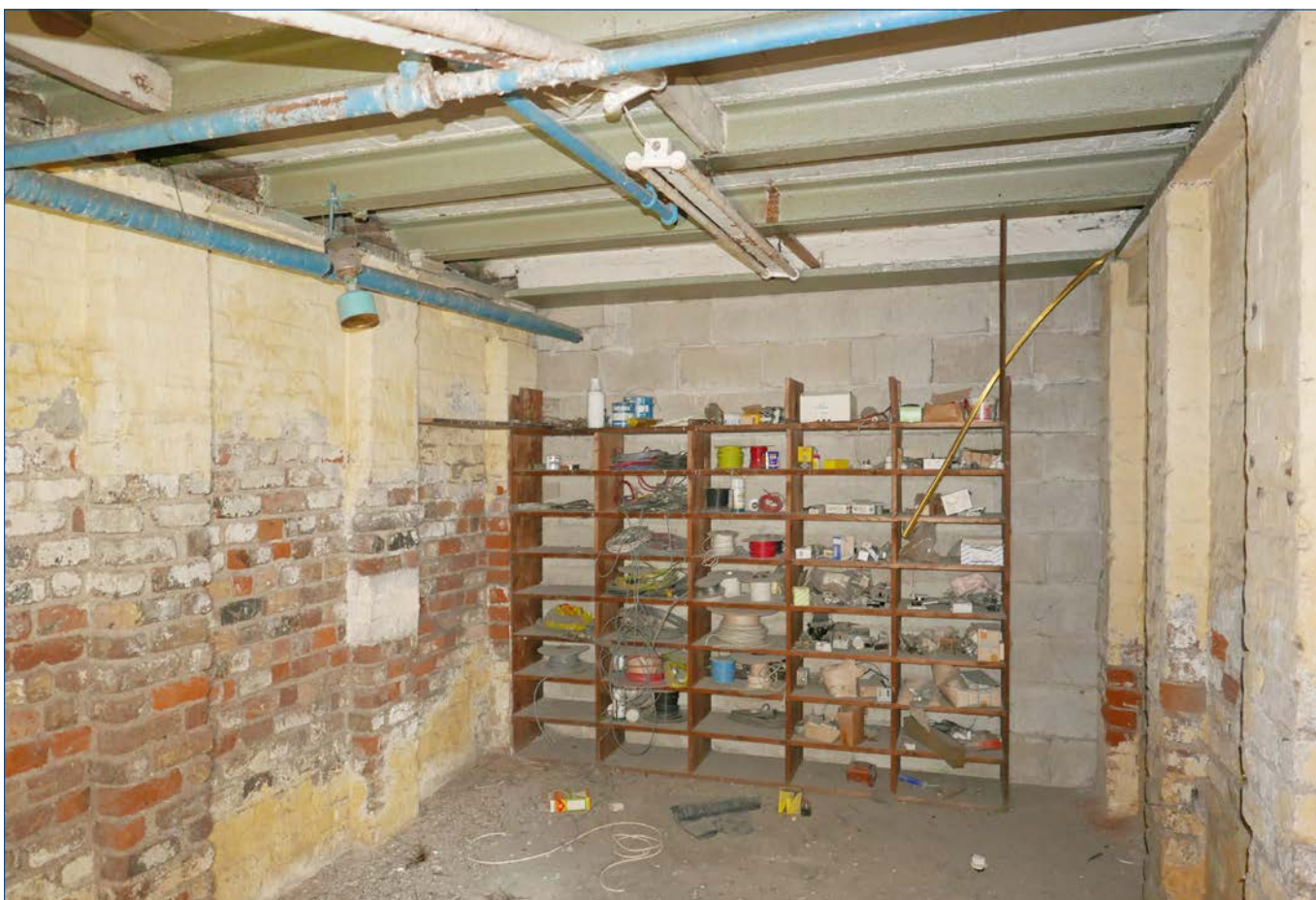


Large gabled building • upper part of the north facade seen over the grey walls structures in the foreground. The brick gable seen to the left is the north gable of the smaller gabled building. The top of the square tower is seen on the extreme left.

Gabled Industrial Buildings on the River Front



Large gabled building • lower floor • southern 'cellar' on the west side, looking east.



Large gabled building • lower floor • centre 'cellar' on the west side, looking east

Gabled Industrial Buildings on the River Front



Large gabled building • upper floor • space at the north end of the building, looking north west.



Large gabled building • upper floor • space to the south west of the building, looking north.



Large gabled building • upper floor • space to the south west of the building, looking south.

Gabled Industrial Buildings on the River Front



Details of steel roof trusses in the large gabled building. This steelwork is of modest heritage value. It is proposed that the steelwork in the roof of the large gabled building will be overhauled and retained.

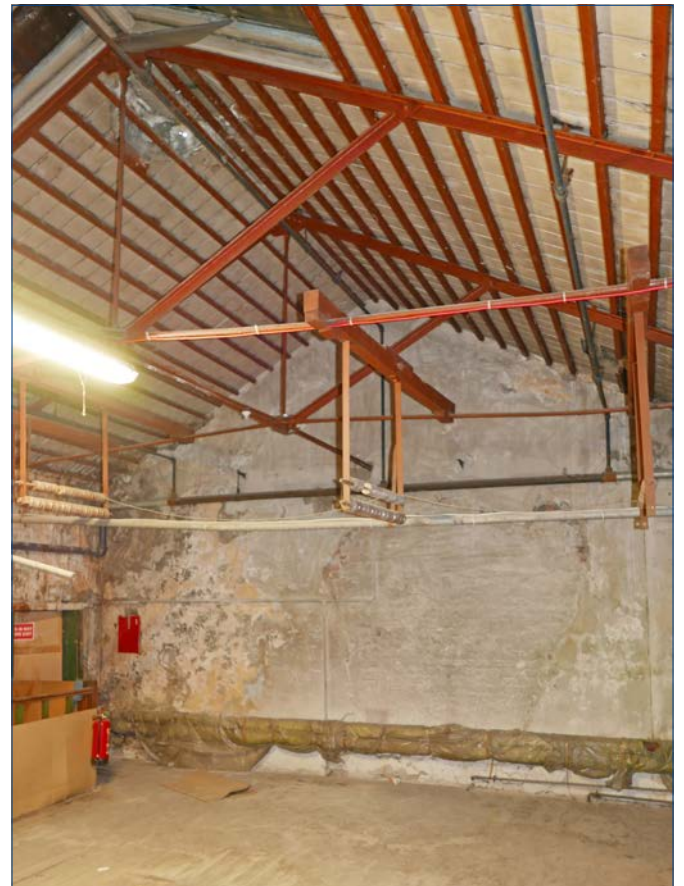
Gabled Industrial Buildings on the River Front



Rectified Elevation of the Smaller Gabled Building • Scale 1:100



First floor space in the small gabled building looking south towards the River..



First floor space in the small gabled building looking north west away from the River..

Two storey building attached to the inside of the arched entrance gateway



Two storey building attached to the inside of the arched entrance gateway

Evidence from Ordnance mapping would suggest that this little building was built at the same time as the main gateway from Parkgate Street. It is not listed in the Record of Protected Structures nor is it listed in the National Inventory of Architectural Heritage. It is not quite clear how this building was used when first built, or indeed during the variety of uses that the site was put to over the last 210 years. Ordnance mapping suggests that the building was inside and to the east of the stone arched entrance gateway from Parkgate Street, but that there was a second gateway immediately to the south of this little building, the second gateway being the entrance into the inner yard of the Phoenix Ironworks.

There may have been a doorway from the public street into this building through the flank wall of the main stone arched gateway, but only opening up will reveal exactly what was there. There is evidence from Ordnance mapping and from the building itself that it has been altered numerous times. It appears that when last occupied the ground floor was used as a canteen and the upper floor as some form of drawing office. There are no internal walls, and it is likely that the building originally had internal walls. There is what appears to be a chimney breast on the east side of the building. There is a stair running against that chimney breast from the lower to the upper level, and this could not possibly be original. There is clear physical evidence of changes to the fenestration of the building, and it would appear that only one of the present window openings could possibly be original.

The loss of this small building would represent a heritage loss. The extent of effects on architectural heritage of the surrounding area arising from the loss of the building is considered to be 'slight'.

Two storey building attached to the inside of the arched entrance gateway



Upper floor 'Drawing Office' in the small building beside the gate as it was in early 2020



Ground floor canteen in the small building beside the gate as it was in early 2020

The Ruins of a late Georgian House



Kingsbridge House as it appeared in 2020

The house was probably constructed at some time after the Phoenix Ironworks were established by Richard Robinson in 1808. It is not listed in the Record of Protected Structures, but is listed in the National Inventory of Architectural Heritage at Record No 50060347. The wording in the Record of Protected Structures for structures on the subject site, RPS Record No 6320, specifically excludes this house and most of the other structures on the site.

As can be seen from the Ordnance mapping, the house was originally located in a formal relationship with the western half of the original Phoenix Ironworks property which was laid out as extensive formal gardens with a terrace of two storey workers cottages along Parkgate Street at the north side of these gardens. It would appear that the western half of the original Phoenix Ironworks lands were severed from the present property at some time in the early 20th century. The house is now entirely isolated from its original setting, including structures that once continued north from the house to Parkgate Street.

The NIAH appraisal states as follows:

A fine symmetrical late Georgian house with links to Dublin's industrial past, located within the site of the former Royal Phoenix Iron Works. Despite later interventions, the house is characterized by fine proportions and symmetry, and evidence remains of the former fine doorcase and original fenestration, as well as former balcony to the west.

The NIAH appraisal makes no reference to the fact that the house has lost its original setting, or that it probably never had a relationship to Parkgate Street. Since there is no reference to the interior or its condition, it is assumed that, as is the usual practice, the NIAH assessment was made on the basis of the external appearance only.

When the present owners acquired the site it was found that the house was in very poor structural condition and was unsafe with areas of structural collapse internally. There was extensive water damage. Internally there were still some plain late Georgian features in place, but most original features had been lost. An inspection

report prepared in January 2019 by Gordon Knaggs & Associates concluded:

It is clear that this building has been subject to ingress of water for many years, particularly from roof level. Decay of the timberwork is extremely extensive and severe. There is little prospect of significant areas of sound or useable timber remaining in the building.

When ARC Consultants prepared an Architectural Heritage Impact Assessment in early 2020, the external envelope of the house was still in place, despite the house having partially collapsed internally. In 2022, as a result of water penetration following several severe storms, there was further structural deterioration of the house leading to a greater risk of the imminent collapse. Works were carried out to reduce the height of the house and so prevent the external walls of the house collapsing out over publicly trafficked areas. What now remains of the house extends only to the top of the ground floor level. The demolition of the house is permitted under ABP-306569-20.

The loss, of what remains of 'Kingsbridge' House will be a heritage loss. However, given how little is left of the original house, and given that most of the original heritage interest of the building had already been lost, the extent of effects on architectural heritage of the surrounding area arising from the loss of what remains of 'Kingsbridge' House is assessed as 'slight'.



Interior view of 'Kingsbridge House' showing the ground floor partially collapsed into the basement. This image is from a report dated September 2016 by DBFL Consulting Engineers.



Interior view of 'Kingsbridge House' showing the structural failure of an internal spine wall. This image is from a report dated September 2016 by DBFL Consulting Engineers.

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W. H. Hastings FRIAI • November 2024

RIAI Accredited Grade 1 Conservation Architect